



PELICAN BAY FOUNDATION DESIGN GUIDELINES

PELICAN BAY FOUNDATION
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SECTION A -INTRODUCTION

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SECTION A. INTRODUCTION

Pelican Bay is a luxurious community consisting of single family and multi-family residential neighborhoods and upscale commercial developments situated along the Gulf of Mexico in northwestern Collier County, Florida. It consists of 3.4 square miles (2,330 acres) and is bordered by the City of Naples to the south, U.S. Route 41 (Tamiami Trail) to the east, and Vanderbilt Beach Road to the north.

Since its founding in the 1970s, Pelican Bay has embraced “a model of environmental planning” with over 550 acres of mangroves, a designated natural resource along the Gulf Coast and 43 acres of parks and recreation areas.

This vibrant coastal community, home to the prestigious Artis Naples with its symphony and art museum, has thrived since its inception. Pelican Bay’s character is one of beauty, peacefulness and lush landscaping specifically showcased through an elegant architectural style with beautiful yards and common areas. Ensuring Pelican Bay’s quality and character through the integrity of the design process is the objective and guiding principle contained in these Design Guidelines.

1. PURPOSE OF THE DESIGN GUIDELINES

The purpose of these Design Guidelines is to provide a series of standards for redevelopment, alterations to existing structures, additions, new construction and site work in Pelican Bay to achieve one coherent and unified whole, and to preserve the existing and unique character of Pelican Bay. The purpose of these Design Guidelines is not to produce stylistic conformity, but visual harmony and compatibility in the building fabric by establishing a common understanding of design principles, which address materials, proportions, and other built-form components.

The Design Guidelines supplement the existing land use regulations and are intended to provide guidance to help new construction, renovations and redevelopment projects especially in established neighborhoods to be consistent and compatible with, and sensitive to the existing character of Pelican Bay.

The Design Guidelines do not presume to supersede existing regulations. The information contained within the Design Guidelines, which references the PUD is provided for information only. Approval by the design committee is not representative of review and approval of governmental standards nor is it indicative of compliance with the PUD.

2. OVERVIEW

The Pelican Bay Foundation Design Guidelines is organized in a series of sections:

- a. Introduction.
- b. The Design Review Process identifies procedures involved in obtaining the appropriate reviews and submittals related to new construction, renovations or redevelopment projects.
- c. Pelican Bay Character (Section C) provides an overview of the existing architectural and landscape characteristics.
- d. Architectural Standards.
- e. Landscape Standards.
- f. Signage Standards - These design standards provide development criteria objectives and policies with the goal to maintain the beauty and character of the community. These standards are in addition to other existing regulatory documents. The DRC will use these standards in reviewing project applications in addition to other existing regulatory documents.
- g. Construction Guidelines include procedures to be followed during the construction activities of a project. These guidelines apply to new construction, renovations or redevelopment projects including exterior and interior modifications.

Appendix - The Appendix includes useful information including a Design Guidelines Checklist, a Glossary of Terms, Resources, and a series of tables and illustrative maps that include a summary of development regulations contained in the PUD and the Neighborhood Covenants for PUD Groups 1, 2, 3 and 4. The information contained in these sections is for information only and provides an at-a-glance summary of some of the current land use regulations. Users are directed to the principal documents with regards to the Covenants, PUD or other regulatory documents.

SECTION B - DESIGN REVIEW PROCESS

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SECTION B. DESIGN REVIEW PROCESS

1. THE DESIGN REVIEW PROCESS

The design review process is set up to be a cooperative one between owners, their design and construction team, and the Design Review Committee (“DRC”). The DRC helps owners to realize their own objectives while implementing the overall vision that distinguishes Pelican Bay from other communities located in Naples, Florida.

a. Review Criteria.

- (i) Validity of Concept. The basic idea of the exterior change must be sound and appropriate to its surroundings.
- (ii) Landscaping and Environment. The exterior change must not adversely impact the natural landscape or the existing man-made environment.
- (iii) Relationship of Structures and Adjoining Property. The proposed change must relate harmoniously to its surroundings and to existing buildings and terrain that are visually related to the change.
- (iv) Consideration of Neighbors. The interests of neighboring owners and the owner’s property rights are protected by making reasonable provisions for such matters as water drainage, sound buffers, privacy, light and air, and other aspects of design which may have substantial effects on neighboring property.
- (v) Design Compatibility. The proposed change must be compatible with the design characteristics of the applicant's home and the general neighborhood setting. Compatibility is defined as harmony in design, style, scale, materials, finish(es), color and construction details.
- (vi) Scale. The three-dimensional size of the proposed change must relate satisfactorily to adjacent structures and its surroundings.
- (vii) Materials. Continuity is established by use of the same or compatible materials as used in the home.
- (viii) Color. Must be consistent with the neighborhood’s color scheme.
- (ix) Workmanship. The quality of work must be equal to or better than that of existing structures.

- b. Project Approval. This document details the process by which you must apply for and obtain advance written approval from the Foundation before commencing any construction, improvement or exterior alterations to a Plot (“Project Approval”). Work or upkeep which does not alter the location, size, type, or external appearance of any structure, improvement or portion of your Plot, does not require advance written approval under this Section, but still must comply with the Governing Documents

and all other provisions of these Guidelines. If an owner is not sure whether proposed work is of the nature that requires Project Approval under this Section B, the owner should contact the Covenants Department prior to commencing any work at (239) 596-6180 ext. 237 or via email at flaney@pelicanbay.org.

- c. Project Completion/Timing. An approved property change may be installed either by the owners or by a contractor. In the unlikely event that a project significantly exceeds the stated design, scope, or time period, the owner shall communicate in writing to the Director of Covenants regarding these changes and provide additional information. Projects that remain uncompleted for a long period of time, are visually objectionable or can be a nuisance and safety hazard for neighbors and the community, may be subject to HOA Board and/or PBF Board action. All applications must contain a proposed maximum time period from start to completion of construction. If the proposed time period is considered unreasonable, the Committee may recommend the project be broken up into phases or reject the application. When the work is complete, the owner shall notify the DRC. A follow up inspection may be required using the Governing Documents and all other provisions of these Design Guidelines.
- d. Foundation Property. The Foundation Property and the Foundation Common Areas are exempt from the DRC review process and requirement of Foundation approval.
- e. No Liability. In fulfilling its obligations relative to consideration of requests for Project Approval, neither the Foundation, the Board of Directors, nor the DRC, assume responsibility for the following: (i) structural adequacy, capacity or safety features; (ii) soil erosion, un-compactable or unstable soil conditions; (iii) acquiring necessary permits from state and local authorities, and compliance with any or all building codes, safety requirements, governmental laws, regulations, or ordinances; (iv) performance or quality of work of any contractor or subcontractor; (v) hazardous materials regulation compliance; (vi) existing site conditions and site restrictions; (vii) property rights or boundary line determinations relating to neighboring or adjacent properties; or (viii) objections from neighbors or other Owners in the community. No responsibility, liability or obligation may be assumed by or imposed upon the Foundation, the Board of Directors, or the DRC by virtue of the authority granted to the Board or the DRC in their Guidelines or as a result of any act or failure to act by the Foundation, the Board of Directors or the DRC with respect to any proposed improvements.

2. NEIGHBORHOOD APPROVAL & GOVERNMENTAL APPROVALS

- a. Local Government. To the extent that Collier County ordinances or any governmental ordinance, building code or regulation requires a more restrictive standard than the standards set forth in these Design Guidelines or the Pelican Bay Governing Documents, the government standards will prevail. To the extent that any government standard is less restrictive, the Pelican Bay Governing Documents and these Design Guidelines will prevail. Obtaining any necessary Collier County or other governmental permits, licenses or approvals is exclusively the responsibility of the Owner. Additionally, obtaining necessary governmental permits, licenses or approvals does not by itself constitute project approval as required by these Guidelines and the Governing Documents.
- b. Neighborhood Association. The governing documents of a neighborhood association may provide for additional architectural or design review to be provided by or performed by a neighborhood association. Such review shall not substitute or replace the obligation to have all

construction and modifications reviewed by the DRC. Prior to any submittal to the DRC, the Owner is responsible for obtaining all approvals required by the applicable neighborhood association documents and providing a full copy of such approvals to the DRC, together with such other evidence of approval the DRC may request. The DRC will not commence its review process if the DRC has not received evidence of neighborhood association approval.

3. APPROVAL AUTHORITY; REVIEW COMMITTEE

Foundation review and approval for the modifications and improvements is carried out by the following entities.

- a. Director of Covenants. In addition to general covenants duties unrelated to design review, the Director of Covenants will administer the approval process according to the Governing Documents. The Director of Covenants may use the resources of the Covenants Department in fulfilling its responsibilities. All applications, fees, and submittals required hereunder must be submitted to the Covenants Department. The Director of Covenants also has the authority to perform all the duties of design review and Project Approval of Minor Projects, described below.
- b. Design Review Committee ("DRC"). The DRC will normally consist of five (5) members, with a minimum of three (3) but not more than seven (7) individuals who are Foundation members, and who will be appointed, removed, or replaced by the Board. It is preferred that at least two individuals of the DRC come from at least two professional categories relevant to Design Review, such as, but not limited to: architecture, urban planning, landscape architecture, civil engineering, construction, community association/real estate law, or similar professionals. The DRC may also, or alternatively, consult with members of the "DRC Professional Advisors," described below. Any time a quorum of the DRC gathers to conduct DRC business, the DRC must meet with the same formalities and notice requirements as required for Board meetings, unless otherwise permitted by law. Any Owner wishing to appear before the DRC may do so. These meetings must be open to all Owners.
 - (i) Staff Liaisons. The staff liaisons to the DRC will be: (i) the President of the Foundation, (ii) the Director of Covenants, (iii) the Vice-President of Finance and Administration and (iv) a Major Projects specialist, who will be, at the Board's discretion, either a Foundation employee or an independent contractor engaged by the Foundation. The DRC may consult with the staff liaisons in conducting all of the DRC's duties and functions, but the staff liaisons will not be members of the DRC.
 - (ii) Role of the DRC. It is the responsibility of the DRC to review, approve, approve with conditions, or deny requests for Project Approval, all in compliance with these Guidelines and procedures. The DRC also has the authority to adopt the application forms for use in the design review process, and to establish and amend from time to time design review fees and construction deposits, in an effort to continuously evolve its standards and practices and enhance the DRC's competency in design review. Notwithstanding the foregoing, the DRC will advise the Board in advance of any significant decisions the DRC intends to make. The DRC will also have the authority to inspect and ensure that projects are being completed as approved.
 - (iii) DRC Professional Advisors. The DRC will develop relationships with local professionals, that

the DRC can use, on a regular basis, to assist the DRC in fulfilling its responsibilities (“DRC Professional Advisors”). DRC Professional Advisors are strictly advisors to the DRC and Staff Liaisons. DRC Professional Advisors will be local professionals with experience and knowledge in fields relevant to design review, including without limitation: (i) Florida real estate and community association law, (ii) local architecture, (iii) civil engineering, (iv) landscape architecture, urban planning, or (v) housing development. DRC Professional Advisors must also have an understanding of the Foundation Governing Documents including these Design Guidelines and be familiar with PUD master planned communities—preferably Pelican Bay—which have both “master/general” and “neighborhood/sub” covenants and restrictions.

- (iv) Oversight Panel. The responsibility of the Oversight Panel is to act as an appeal board to adjudicate appeals by Owners of decisions made by the DRC or the Director of Covenants. The Board of Directors of the Foundation acts as the Oversight Panel.

4. BOARD OF DIRECTORS

The Board of Directors may:

- a. Monitor design review activities and make changes in the review process that may be needed from time to time.
- b. Adopt or revise the Design Guidelines. Amendments will be prospective in application only.
- c. Serve as the Oversight Panel.

5. CATEGORY OF PROJECTS

There are three categories of projects:

- a. Minor Projects. “Minor Projects” include:
 - (i) Antennas/dishes
 - (ii) Painting or repainting color change
 - (iii) Driveways
 - (iv) Flags and flagpoles
 - (v) Signs
 - (vi) Solar collectors
 - (vii) Tree removal/replacement
 - (viii) Hurricane shutters or decorative shutters
 - (ix) Downspouts and gutters

- (x) Mailboxes
 - (xi) Low voltage (twenty-four (24) volts or less) lighting for landscaping
 - (xii) Generators
 - (xiii) Dumpster or port-o-let on site
 - (xiv) Replacement Roofing
- b. Major Projects. "Major Projects" include but are not limited to:
- (i) New construction or tear downs, including any and all exterior signage changes
 - (ii) Exterior renovations
 - (iii) Structural changes
 - (iv) Changes in floor elevations
 - (v) Changes in grade elevations and roof elevations
 - (vi) Any landscape project not listed above as a Minor Project
 - (vii) Any alteration, construction, or project not listed above as a Minor Project
- c. Commercial Projects.
- (i) All Commercial Projects will be reviewed by the DRC. All Major Commercial Projects, including Major landscaping and exterior painting color changes, will be reviewed by the DRC and presented to the Board for approval. All items listed above for submittal for Major Projects must be provided to the Covenants Department prior to the commencement of the Design Review Process. Design review fees will apply for the Review Process, changes and/or re-reviews and will be the responsibility of the Owner. All fees must be paid prior to any approvals being granted or work started.

6. REVIEW FORMS AND APPLICATIONS

The Design Review Applications are available at the Covenants Department Office or on-line at www.pelicanbayforrealtors.com/realtor-documents (go to the member section, and then scroll down to Community Covenants) or you may request a copy to be sent to you via email or fax. All materials required to be submitted with an application must include at least one electronic / digital copy.

- a. Minor Projects. All minor projects will be reviewed by the Director of Covenants. No work may begin until Project Approval has been granted by the Director of Covenants. No design review fees are required for minor projects. Reviews of Minor Projects will be conducted by the Director of Covenants and the Covenants Department. Reviews will be completed within fourteen (14) working days of receipt by the Covenants Department of the Design Review Application for Minor Projects, and all documents listed in the application or otherwise required by the Covenants Department.

Notwithstanding the foregoing, the Director of Covenants may, in its sole discretion, refer a Minor Project to the DRC for review, and/or make a determination that a project constitutes a Major Project.

- b. Major Projects. All Major Projects must be reviewed by the DRC in accordance with Section 7 below.
- c. Commercial Projects. All Commercial Projects will be reviewed by the DRC. All items listed above, for submittal for Major Projects must be provided to the Covenants Department prior to the commencement of the Design Review Process. Design review fees will apply for the Review Process, changes and/or re-reviews and will be the responsibility of the Owner. All fees must be paid prior to any approvals being granted or work started.

7. REVIEW PROCEDURES

Review of all Major Projects will be conducted by the DRC upon receipt of a completed formal Review Application with all required documents, plans and fees by the Covenants Department. In the event of any circumstances requiring a delay in the formal review, the DRC will promptly notify the Owner. The project approval process is as follows:

Step 1. Pre-Application Meeting (OPTIONAL)

While not required, it is recommended that the Owner, together with the Owner's contractor, architect, or consultant, contact the Covenants Department to schedule a consultation with a member of the Covenants Department to discuss the proposed project and these Design Guidelines, prior to formal submittal for design review.

The purpose of this meeting is to:

- a. Ensure that you understand the process involved in doing a major renovation or re-build
- b. Understand the information that is required to obtain approval for your project
- c. Learn about the role of the Covenants Department, the DRC and your homeowner's association, and their covenants and guidelines that govern your project
- d. Obtain guidance and advice to assist in developing the project

Failure to have this meeting may result in significant additional time and cost of your project.

No information or recommendation provided by the DRC representative, Covenants Department, or any other Foundation representative during this preliminary review will bind or obligate the DRC, the Covenants Department or the Foundation when formal Project Approval is sought.

Step 2. Preliminary Concept Plans Review (REQUIRED)

This step is for the Preliminary Concept approval of the proposed project. This meeting should be arranged early in your planning phase, as soon as you have conceptual drawings. The intent is to ensure that you receive the necessary advice and guidance to ensure that the balance of the review process proceeds well.

Two sets of the “preliminary concept” plan described in Section 3.03(c) of the Declaration must be submitted along with the Design Review Application and all required design review fees. All fees must be paid prior to any Project Approval being granted or any work started. Design review fees will apply for the review process, changes and/or re-reviews, and will be the responsibility of the Owner. Each application shall include, at a minimum, the following:

- a. Schematic site plans with setbacks identified, building floor plans, and the exterior elevations of the front, rear and sides of the building.
- b. Views of the existing property with the outline of the proposed project superimposed on the existing site; showing the neighboring properties on either side to scale, including elevations, heights, setbacks, etc.
- c. An aerial view with the existing property and the properties on either side.
- d. Preliminary Floor Area Ratio (FAR) and Pervious/Impervious calculations
- e. Preliminary hardscape plans, and an understanding that a full landscape plan will be required in Step 3.
- f. An understanding that a parking plan addressing where construction vehicles will park during construction will be required in Step 3, unless the DRC waives this requirement.
- g. An understanding that a site grading plan and civil storm water management / drainage plan will be required based on the pervious/impervious ratio. The plan will be different based on the pervious/impervious calculation specific to that property.
- h. Colors, roofing and landscape plans will be required in step 3 based on the approved palettes for Pelican Bay.
- i. Evidence of neighborhood association conceptual approval.
- j. An estimated project timeline.

The DRC shall review the preliminary concept plans with the Covenants Department, and all materials submitted with the application to identify if the application is complete, or if any components of the request for Preliminary Concept approval require additional information or a site visit. Any forms considered incomplete, or where additional information is required, will be identified, and the Owner submitting the request will be notified so all appropriate information can be submitted for consideration during the next step, Design Proposals, outlined as Step 3 below.

As part of the Step 2 of the Design Review Process, a member of the DRC will contact the applicant to discuss the proposed project and the design review process.

Complete applications must be submitted to the DRC by the 15th of the calendar month in order to be considered at the next regularly scheduled meeting of the DRC. In the event the completed application is

submitted to the DRC on or after the 15th of the calendar month, the DRC will not review the application until the next calendar month.

At the next regularly scheduled meeting of the DRC, the DRC will:

- a. Advise that the conceptual plan, based on the information submitted, is an acceptable plan at the conceptual stage and the homeowner can proceed with developing their plan.
- b. Advise of any obvious issues with applicable General or Neighborhood Covenants and any remedies that must be made to the plan in order to bring it into compliance.
- c. Advise if the conceptual is not compliant, and therefore being rejected.

Step 3. Design Proposals Review (REQUIRED)

The next sequential approval of the proposed project is for Design Proposals.

Two sets of the “design proposals” described in Section 3.03(c) of the Declaration must be submitted. The Design Proposal materials shall include, at a minimum, the following:

- a. More detailed building and site design documents sufficient and definitive in detail so that there can be determined the character, exterior appearance, exterior materials and colors, and the quality and kind of building and landscape materials proposed.
- b. Two sets of plans prepared by an architect (including their signature and seal). Owners should include all applicable full working drawings and plans, including without limitation: (i) construction plans and specifications; (ii) all items listed on the Design Review Application; and (iii) all other plans, drawings, elevations, wall sections, and exterior finishes sufficient and definitive in detail to determine that the project complies with these Guidelines.
- c. If the Major Project consists of new construction, a rebuild, or alterations that change the building footprint in any way, the plans and documents described above must also include: (i) front elevations showing the existing home and the neighboring homes on each side, as the home exists prior to alteration; (ii) a front elevation of the proposed project showing the neighboring homes on each side in scale; (iii) an aerial view of the proposed project showing neighboring homes on each side, including the Owner’s existing exterior walls superimposed on the plan for the proposed project; and (iv) an aerial view showing the proposed project and the neighboring homes on each side.
- d. Any revised site plans from Step 2, with setbacks identified, building floor plans, and the exterior elevations of the front, rear and sides of the building; The Floor Area Ratio (FAR) is required.
- e. Complete hardscape plans, and full landscape plans.
- f. A parking plan addressing where construction vehicles will park during construction.
- g. A site grading plan and civil storm water management / drainage plan based on the pervious/impervious ratio.

- h. Colors, roofing and landscape plans are required based on the approved palettes for Pelican Bay
- i. Neighborhood HOA approval of the current Design materials.
- j. An updated project timeline.

The DRC shall review the Design Proposals with the Covenants Department and all plans submitted to identify if they are complete, or if any components of the request for Design Proposal approval require additional information. Any plans considered incomplete, or where additional information is required, will be identified, and the Owner submitting the plans will be notified so all appropriate information can be submitted for consideration prior to this meeting.

The DRC Design Proposal decision will be one of the following:

- a. "Approved". The entire application as submitted approved.
- b. "Approved With Conditions." The application is not approved as submitted, but the DRC's suggestions for curing objectionable features or segments are noted. The Owner must correct the objectionable features or segments. The Owner may be required to resubmit in order to receive Project Approval prior to commencing any work.
- c. "Disapproved." The application as submitted is rejected. The DRC may provide comments but is not required to do so.

Step 4. Construction Plans and Specifications Review (REQUIRED)

The Construction Plans and Specifications review shall be a true extension of the plans and proposals presented and approved in Step 2 and Step 3. This step will include two sets of: the demolition plans; reconstruction plans; final civil engineering and landscaping plans; project timeline (including anticipated commencement and completion dates); all logistical accommodations including parking plans; fencing; storage of materials and dumpster; contact names, addresses, numbers, and Collier County license numbers for the architect, engineers, general contractor, and sub-contractors. Any forms, plans, or documents considered incomplete, or where additional information is required, in the sole discretion of the Director of Covenants, will be identified, and the Owner will be notified so all appropriate information can be submitted for consideration. The Owner will be notified of any resubmission or supplemental submission if additional materials are required. The Director of Covenants may defer, in its discretion, review of applications which are not consistent with the DRC's Preliminary Concept and Design Proposal approvals, or which require further information.

The Director of Covenants will make the final determination that the Construction Plans and Specifications are consistent with the DRC's Preliminary Concept and Design Proposal approvals. The final determination will be one of the following:

- a. "Approved". The entire application as submitted approved.
- b. "Approved With Conditions." The application is not approved as submitted, but the suggestions for curing objectionable features or segments are noted. The Owner must correct the objectionable

features or segments. The Owner may be required to resubmit in order to receive Project Approval prior to commencing any work.

- c. "Disapproved." The application as submitted is rejected based on inconsistencies with the DRC's Preliminary Concept and Design Proposal approvals.

The Director of Covenants will mark on the Design Review Application as appropriate and will thereafter provide a copy to the requesting Owner.

8. TIME TO COMPLETE

If an application is approved, all changes must begin within six months of the later to occur of: (i) final Project Approval, or (ii) obtaining a building permit, if possible. If the approved alterations to the site are not physically commenced within six months, the Project Approval will expire, and the Owner must reinstate the Project Approval process as per the direction and requirement of the DRC. Any proposed variations from a project as approved hereunder must be submitted in writing to the Covenants Department and approved hereunder prior to implementation. If the Project Approval or any other agreement does not specify a maximum period, construction must be completed within eighteen months of its commencement. If not completed within eighteen months of commencement, or within any extended period granted by the DRC, the Owner and the Plot will be deemed in violation of the Governing Documents and these Guidelines. Consistent with Section 8.04 of the Declaration entitled "Completion of Construction–Remedy," once commenced, the project must be prosecuted diligently and completed as indicated in the approved project timeline.

9. APPEAL PROCESS

If any Owner is denied Project Approval for any of the project types listed above or disagrees with the imposed Construction Guidelines, and if the disagreement cannot be resolved by discussion and negotiation, the Owner has the right to appeal the decision to the Oversight Panel. To appeal, the Owner must submit a request for consideration in writing to the Board within thirty (30) days of notification of denial. Any additional design review fees or architectural fees associated with the appeal process will be the responsibility of the Owner. The consideration by the Oversight Panel will be final and may not be unreasonably delayed.

10. CONSTRUCTION GUIDELINES

It is the responsibility of the Owner to review the Guidelines to determine those that are applicable to his or her project. Check with your neighborhood association for any other construction guidelines that may be specific to your neighborhood association. The Oversight Panel shall adjudicate unresolved disagreements between the Owners and the Covenants Department or DRC about the applicability of the Guidelines.

11. VARIANCES

Variations may be granted by the DRC in some circumstances including, but not limited to, odd shaped plots, topography, natural obstructions, hardship, or environmental considerations. All variance requests must be in writing. The DRC has the authority to grant variations to the Design Guidelines, and only if the variance does not result in a material violation of the Declaration, Neighborhood Covenants, or governmental regulations. No variance will be effective unless approved by the DRC and issued in writing.

12. ENFORCEMENT

A representative of the DRC or the Covenants Department will conduct periodic field reviews to ensure compliance with approved plans, Design Guidelines including the construction guidelines, and the Governing Documents. Any noncompliance will be considered a violation of the Governing Documents or restrictions affecting the Plot, and the Board or the DRC may exercise all remedies under Florida law and the Governing Documents for violations. Without limiting the generality of the foregoing sentence, the DRC or the Board may immediately require that all Work on the property cease and desist until the violation is cured, may remove or remedy the violation, and/or seek injunctive relief requiring the removal or remedying of the violation. In addition, the DRC or the Board may record a notice of violation in the Public Records of Collier County. The DRC will be entitled to recover all costs incurred in enforcing compliance.

SECTION C - PELICAN BAY CHARACTER

1. OVERVIEW
2. REGULATING DOCUMENTS
3. SINGLE FAMILY HOMES ARCHITECTURAL COMPONENTS
4. PELICAN BAY COMMUNITIES

SECTION C. PELICAN BAY CHARACTER

1. OVERVIEW

By Pelican Bay Foundation

Pelican Bay is a premier, mixed-use community situated alongside two and one-half miles of Gulf beaches, with a backdrop of a native Florida mangrove estuary. The community consists of approximately 6,500 dwelling units, including single family homes and condominium subdivisions, and various commercial entities including retail, hotels, art and entertainment venues, financial services, offices, and a church. The Pelican Bay Foundation (Foundation), incorporated in the State of Florida on May 1, 1979, is the master association for the community and the only organization structured to represent the interests of all property owners. The Foundation is responsible for constructing, operating and maintaining the common areas and recreational amenities that serve the member residents, including beach restaurants and services, neighborhood parks, and tennis, fitness, and community center facilities.

As a master-planned community, Pelican Bay was developed over a thirty-year period by WCI Communities, working with other builder/developers. In 2003, with Pelican Bay largely built out, WCI turned the community over to the Foundation for future oversight, governance and management. The responsibilities assumed by the Foundation include, without limitation, enforcing the covenants and codes that apply community-wide and regulating certain aspects of building, landscaping and signage within the community. In addition, the various Pelican Bay subdivisions have deed restrictions that must be maintained by the individual homeowner associations in conformance with those of the Foundation, with issues of enforcement sometimes involving the Foundation. Pelican Bay remains an unincorporated area within Collier County and is subject to overall county planning and zoning law.

2. REGULATING DOCUMENTS

The Design Guidelines supplement the following documents, all as amended from time to time, which impose conditions and restrictions on the property within Pelican Bay:

a. Governing Documents

- (i) Second Amended and Restated Declaration and General Protective Covenants for Pelican Bay (Declaration) recorded in Official Records Book 4442, Page 3381, et. seq., of the public records of Collier County, Florida.
- (ii) Amended and Restated Articles of Incorporation for Pelican Bay Foundation, Inc. F/K/A Pelican Bay of Naples Foundation, Inc. (Articles)
- (iii) Amended and Restated Bylaws of Pelican Bay Foundation, Inc. (Bylaws) recorded in Official Records Book 5222, Page 2343, et. seq., of the public records of Collier County, Florida.
- (iv) Pelican Bay Foundation Rules and Regulations (Rules). An Owner should refer to the Pelican

Bay website located at <https://pelicanbay.org/> for a current copy of the Rules.

- b. Pelican Bay Neighborhood Covenants and Restrictions (Neighborhood Covenants). An Owner should refer to the governing documents for the Neighborhood the Owner's property is located within to obtain copies of the relevant Neighborhood Covenants. If the Owner has difficulty locating copies of the Neighborhood Covenants, the Owner may contact: (i) the Neighborhood's board of directors (for property located in Groups 2 or 3); or (ii) the Covenants Department (for property located in Group 1).
- c. Pelican Bay Planned Unit Development Ordinance Number 77-18 and Ordinance Number 04-59 (collectively, PUD)
- d. Local government regulations (See Section B, 2.1 in this document)
- e. Florida Friendly Landscape and Waterwire Irrigation Guidelines.
- f. South Florida Water Management District Xeriscape Plant Guide II.

The definitions set forth in the Declaration shall apply to terms used in these Design Guidelines, except where the context would otherwise suggest, or the term is otherwise defined in Appendix A or elsewhere herein.

3. SINGLE FAMILY HOMES ARCHITECTURAL COMPONENTS

In general, Pelican Bay's single-family homes' architectural detailing comprises a mixture of details of varying style origins. The community's single-family homes' architectural styles may be classified in three American Domestic Architecture¹ styles and often include a blend of components from the following domestic architecture styles:

- a. Styled Ranch (early to mid- 1980s)
- b. Millennium Mansion (mid 1990s-Present)
- c. New Traditional (early1980s-Present)

Styled Ranch

Styled Ranch houses were built typically during mid twentieth century to about 1975 in the United States and dominated new one-story homes in the 1980s. Styled Ranch incorporates five main styles, which include Spanish, French, Tudor, Colonial Revival, and Neoclassical. In general, Styled Ranch houses have a dominant entry and traditional multi-panel windows; one-and-one-half-story forms with a higher pitch than the earlier Ranch houses. The extra half- story helped create larger homes all within the same lot size. (McAlester, 2015)

In Pelican Bay, Styled Ranch houses generally incorporate elements common to French, Spanish and Neoclassical Styled Ranches.

French Ranch - "Generally, at least one portion of the house (commonly the central block) is topped by a high-pitched hipped roof. One or more segmental arches are usually present (on doors, windows, or

dormers). Windows are usually tall and narrow, sometimes full height. The front entry is typically prominent and features a paneled front door (both paired doors and curvilinear panels are common). ...French Ranches may be either symmetrical or asymmetrical.” (McAlester, 2015)

Spanish Ranch - Spanish Ranches are generally clad in stucco (or buff-colored brick) and topped with a tiled roof. One or more round or parabolic arches are often present, usually at the front entry or porch, principal windows, or courtyard entry. (McAlester, 2015)

Neoclassical Ranch – This Ranch style is often characterized by a one-story porch supported by classical columns. The porch may be present only at the entry...Traditional multi-pane windows are typically used, and roof dormers may be present. (McAlester, 2015)

Millennium Mansion

This type of domestic architecture spread in the mid- 1990s in the United States and is the predominant style in many subdivisions built from the 1980s up to the present. Identifying features of this domestic style consist of complex high-pitched roof, with lower cross gables or hips; tall entry features, one and one-half to two stories high and often arched; dormers; differing window sizes and shapes, sometimes arched; commonly asymmetrical and with tall vertical appearances. (McAlester, 2015)

New Traditional

Homes built in the New Traditional style incorporate architectural features with precedents found more commonly in the early 20th century domestic architectural styles including Colonial Revival, Tudor, Neoclassical, French, Italian Renaissance, Spanish, Craftsman, and Prairie. (McAlester, 2015) In Pelican Bay, a mixture of and/or a blend of Mediterranean, French and English roots are evident in some of the community’s single-family homes.

³ Architectural classification and definitions contained in this section are based on *A Field Guide to American Houses* by Virginia Savage McAlester.

4. PELICAN BAY COMMUNITIES

GROUP 1		
Barrington Bay Colony Shores Bay colony Strand Bay Colony Villa La Palma Cambridge	Georgetown Jamestown Oakmont Pelican Bay Woods Pinecrest	Pointe Verde The Village Waterford
GROUP 2		
Avalon Barrington Club Bay Colony Viscayna Bay Villas Beauville Breakwater Bridge Way Villas Chanteclair Coco Bay Crescent	Glencove Grand Bay Isle Verde L'Ambiance Las Brisas Laurel Oaks Lugano Oak Lake Sanctuary Pointe of Pelican Bay Renaissance	Saint Andrews Sanctuary Sand Pointe Serendipity St. Simone Tierra Mar Villa Lantana Villas of Pelican Bay Willow Brook
GROUP 3		
Bay Colony Mansion La Palma Calais Cannes Carlton Place	Chateaumere Hyde Park Interlachen Pebble Creek	San Marino Valencia
GROUP 4		
Bay Colony Biltmore Bay Colony Brighton Bay Colony Carlisle Bay Colony Contessa Bay Colony Marquessa Bay Colony Remington Bay Colony Salerno Bay Colony Toscano Bay Colony Trieste Bay Colony Windsor Cannes (front of Cap Ferrat) Cap Ferrat Chateaumere Royale	Claridge Coronado Dorchester Glenview Grosvenor Heron Inn at P.B. Marbella Montenero Naples Grande Mystique Ritz-Carlton St. Kitts	St. Laurent St. Lucia St. Maarten St. Marissa St. Nicole St. Pierre St. Raphael St. Thomas St. Tropez St. Vincents Stratford Watermark Place IV

COMMUNITY MAP

- RECREATIONAL
- GOLF COURSE
- CONSERVATION
- COMMERCIAL
- GROUP 1
- GROUP 2
- GROUP 3
- GROUP 4

VANDER
BEACH P
PUBLIC A



The following table summarizes the land development designations shown in the PUD to which certain development, lot and building standards and other elements of the intended built environment are applicable.

PUD Group	Main Uses	Character
Residential Group 1	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 3 units per structure 	<ul style="list-style-type: none"> ○ Strictly residential ○ Mix of medium to large residential house types ○ Variable private landscaping ○ Variable themed neighborhoods
Residential Group 2	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Strictly residential ○ Mix of medium to large residential house types ○ Low rise attached residential units ○ Higher density ○ Variable themed clustered neighborhoods ○ Variable landscaping ○ Some gated communities
Residential Group 3	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Low to mid rise ○ Some medium to large residential house types ○ Variable themed clustered neighborhoods ○ Variable landscaping ○ Some gated communities
Residential Group 4	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Low, mid and high rise
Non-Residential Golf Course Community & Area Commercial Conservation Area Utility	<ul style="list-style-type: none"> ○ Professional ○ Commercial ○ Retail ○ Communal 	<ul style="list-style-type: none"> ○ Commercial, professional and communal including school and places of worship ○ Predominantly South Florida architectural style

PELICAN BAY PUD PERMITTED USES								
Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Permitted Principal Uses and Structures								
Single-Family Detached	■	■	■	■				
Attached single-family:								
Up to 3 units per structure	■	■	■	■				
Up to 6 units per structure		■	■	■				
Multi-Family Units		■	■	■				
Garden Apartments		■	■	■				
Parks	■	■	■	■		■		
Playgrounds/Playfields	■	■	■	■		■		
Commonly owned open space	■	■	■	■		■		
Water Management Facilities	■	■	■	■	■	■	■	■
Existing non-commercial plant nursery				■				
Golf Course					■			
Golf Clubhouse					■			
Tennis Courts					■			
Tennis Clubhouses					■			
Transient lodging facilities not to exceed 25 units					■			
Nature trails including boardwalks							■	
Boat trails							■	
Boat docks (non-commercial)							■	
Pedestrian paths and bridges							■	
Beach sun shelters							■	
Marine research laboratory							■	
Recreational clubs (and other recreations/conservation/preservation activities if approved by Director)							■	
Government administration facilities (i.e. Fire Station, library, sheriff's substation, branch courthouse offices, auditorium, etc.)						■		
*See list of Principal Uses in PUD pages 35-37 for Community and Area Commercial						■		
Potable water treatment and distribution facilities								■
Sanitary waste water collection treatment								■
Utility services equipment, storage, maintenance and offices								■

PELICAN BAY PUD PERMITTED USES

Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Lawn or golf course maintenance shops and equipment storage								■
Other maintenance or utility services uses (as approved by Director)								■
Permitted Principal Uses and Structures with Site Plan Approval								
Non-commercial boat launching facilities	■	■	■	■				
Docking area: one per dwelling unit)	■	■	■	■				
Multiple docking areas		■	■	■				
Recreational Clubs	■	■	■	■				
Golf Courses	■	■	■	■				
Practice driving range and other accessory uses related to golf courses	■	■	■	■				
Churches	■	■	■	■				
Schools	■	■	■	■				
Child care centers when accessory to church or school	■							
Child care center		■	■	■				
Governmental administration buildings		■						
Convalescent homes, rest homes, homes for the aged, adult foster homes, children's homes, rehabilitation centers and licensed skilled nursing facilities		■	■	■				
Civic and cultural facilities				■				
Hotels and motels (except where not permitted in other areas of PUD)				■				
Private Pelican Bay clubs				■				
Permitted Accessory Uses and Structures								
Private boat docks	■	■	■	■				
Private garages	■	■	■	■				
Signs	■	■	■	■				
Model Homes (limited to 2 years)	■	■	■	■				
Tents in conjunction with hotels/motels (with conditions)				■				
Pro-shop, practice driving range and other customary accessory uses of golf course, tennis clubs or other recreational facilities					■			

PELICAN BAY PUD PERMITTED USES								
Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Small commercial establishments including:					■			
gift shops					■			
golf and tennis equipment sales					■			
restaurants					■			
cocktail lounges					■			
Shuffleboard courts					■			
swimming pools					■			
Signs					■			
Maintenance shops and equipment storage					■			
Non-commercial plant nursery					■			
Accessory uses and structures customarily associated with the uses permitted in this district						■	■	■
Signs as permitted in the Zoning Ordinance						■	■	■

SECTION D - ARCHITECTURAL STANDARDS

1. DESIGN GOALS
2. SINGLE FAMILY RESIDENTIAL DESIGN GUIDELINES
3. BUILDING PLACEMENT STANDARDS
4. LOT COVERAGE AND SETBACKS
5. FLOOR AREA RATION (FAR)
6. IMPERVIOUS SURFACE, IMPERVIOUS/PERVIOUS RATIO
7. STORMWATER MANAGEMENT
8. BUILDING CONFIGURATION
9. RELATIONSHIP TO ADJACENT PROPERTIES
10. ARCHITECTURAL COMPONENTS
11. ARCHITECTURALLY THEMED CLUSTER DEVELOPMENT *(Refer to Design Review Committee-DRC)*
12. MULTI-FAMILY GUIDELINES *(Refer to Design Review Committee-DRC)*
13. NON-RESIDENTIAL GUIDELINES *(Refer to Design Review Committee-DRC)*

SECTION D. ARCHITECTURAL STANDARDS

All building regulations and standards shall be in accordance with the Regulating Documents, and the following Design Guidelines.

1. DESIGN GOALS

- a. Promote and enhance a sense of community and neighborhood while preserving Pelican Bay's unique and diverse architectural styles
- b. Promote compatible design within established Neighborhoods
- c. Enhance architectural and visual interest of Neighborhoods
- d. Ensure longevity of Neighborhoods that will endure over time

2. SINGLE FAMILY RESIDENTIAL DESIGN GUIDELINES

The principal objective of these Design Guidelines is to ensure that new Dwelling Units, infill construction, additions and alterations are compatible with the existing established surrounding Neighborhood.

Compatibility Rule:

The compatibility rule promotes and reinforces a sense of place by requiring that new construction, additions and alterations to existing buildings in an established neighborhood fit in size, scale and color and general character of the block within which a building is located.

Except for those Neighborhoods in Group 2 that have Dwelling Units that are similar to one another, the compatibility rule does not promote mimicking existing architectural designs and creating "cookie-cutter" developments and redevelopments. It acknowledges an existing community's unique character and sense of place and promotes authenticity of design, which is appropriate and harmonious within an established Neighborhood and which relates to its context in scale, detail, surface, texture and materials.

More specifically, compatibility is determined based on the following factors:

<ul style="list-style-type: none">• Lot size• Setback• Massing• Scale• Spacing• Size	<ul style="list-style-type: none">• Building height• Building orientation• Roof shapes• Like elements of residential design within neighborhood• Building materials• Colors
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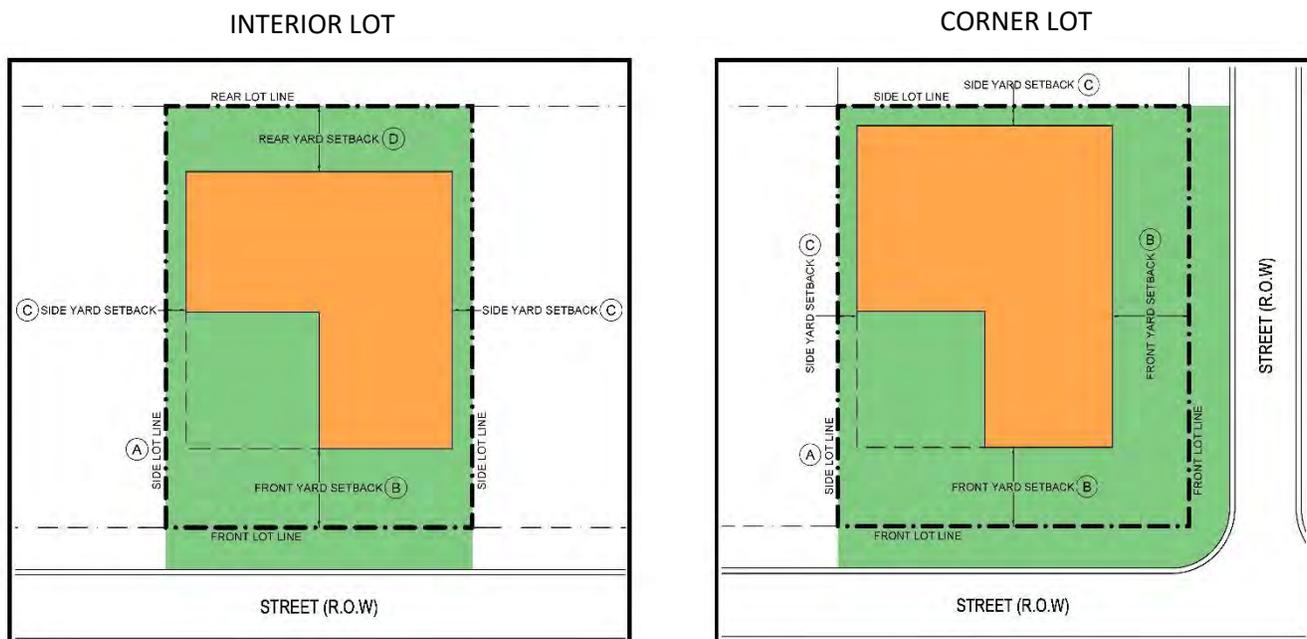
The sections that follow address compatibility components.

SECTION D – ARCHITECTURAL STANDARDS

3. BUILDING PLACEMENT STANDARDS

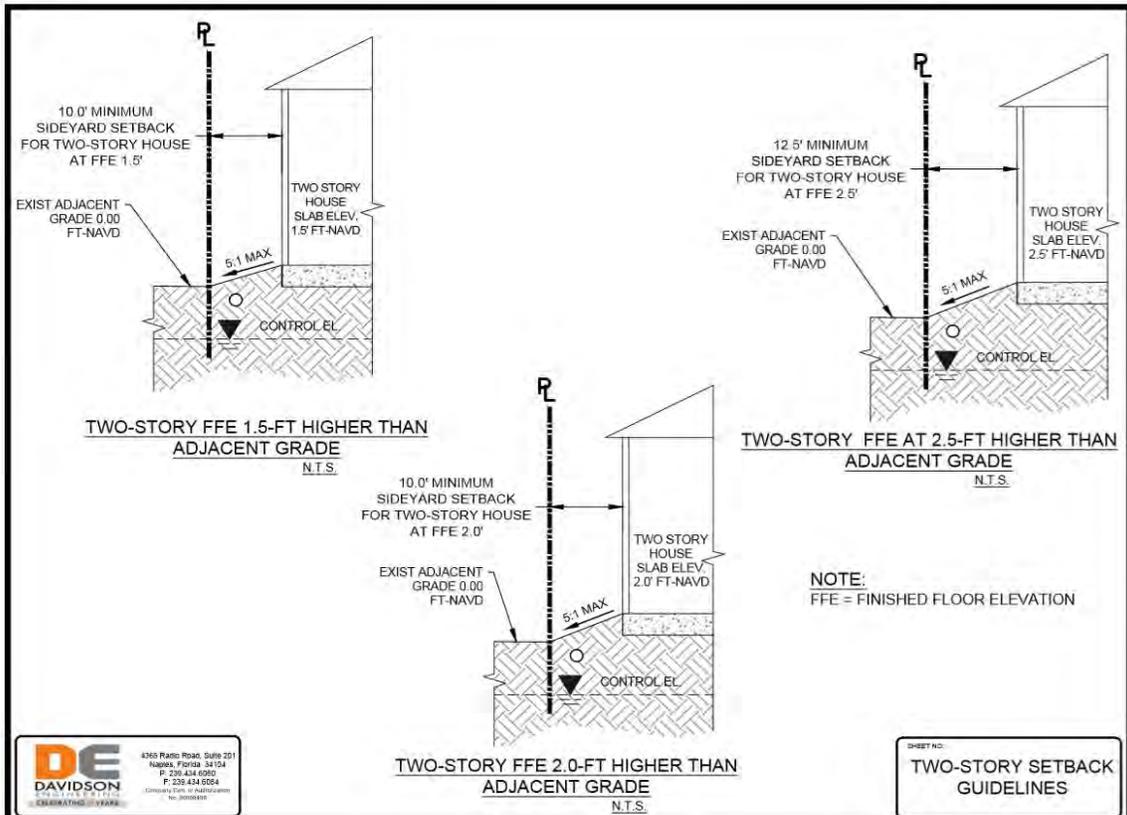
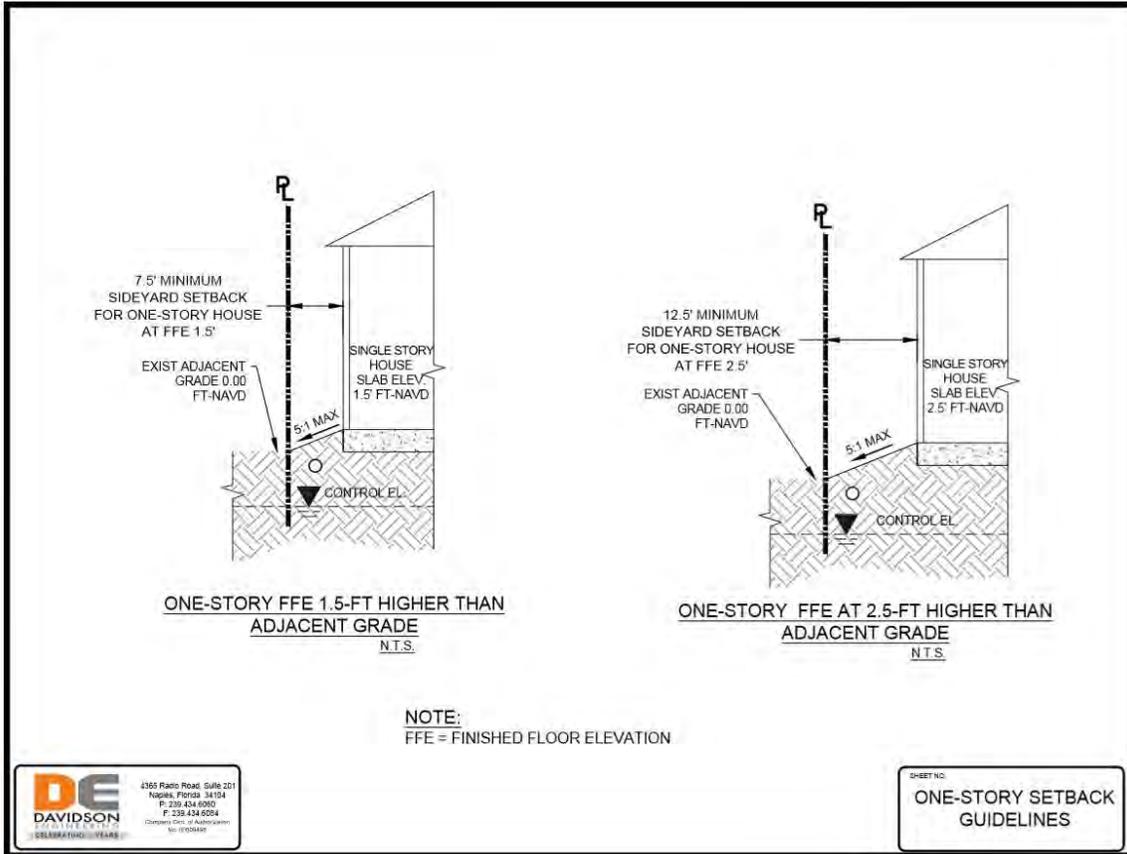
- a. Lot Configuration - All lot regulations shall be in accordance with the PUD as referenced in Section D.3 Exhibit 1, and the following:
- b. General – The size of any new lots proposed within an established Neighborhood shall not vary more than 20% from the typical existing lot.
- c. The building shall be placed so that all side and rear yards are no steeper than a 5:1 (H:V) slope from existing adjacent grade to proposed building Finished Floor Elevation (as calculated per pertinent agencies). This is referenced in Section D.3 Exhibit 2.
- d. Lot Width
 - (i) Minimum lot width for single family residential lot shall be in accordance with the PUD.

SECTION D.3 EXHIBIT 1



- (A) LOT LINE:** ANY BOUNDARY OF A LOT
- (B) FRONT YARD SETBACK:** A HORIZONTAL DISTANCE ON A LOT MEASURED AT A RIGHT ANGLE FROM THE FRONT LOT LINE TO THE NEAREST MAIN WALL OF A PRINCIPAL BUILDING OR STRUCTURE
- (C) SIDE YARD SETBACK:** A HORIZONTAL DISTANCE ON A LOT MEASURED AT A RIGHT ANGLE FROM THE SIDE LOT LINE TO THE NEAREST MAIN WALL OF A PRINCIPAL BUILDING OR STRUCTURE
- (D) REAR YARD SETBACK:** A HORIZONTAL DISTANCE ON A LOT MEASURED AT A RIGHT ANGLE FROM THE REAR LOT LINE TO THE NEAREST MAIN WALL OF A PRINCIPAL BUILDING OR STRUCTURE

SECTION D.3 EXHIBIT 2

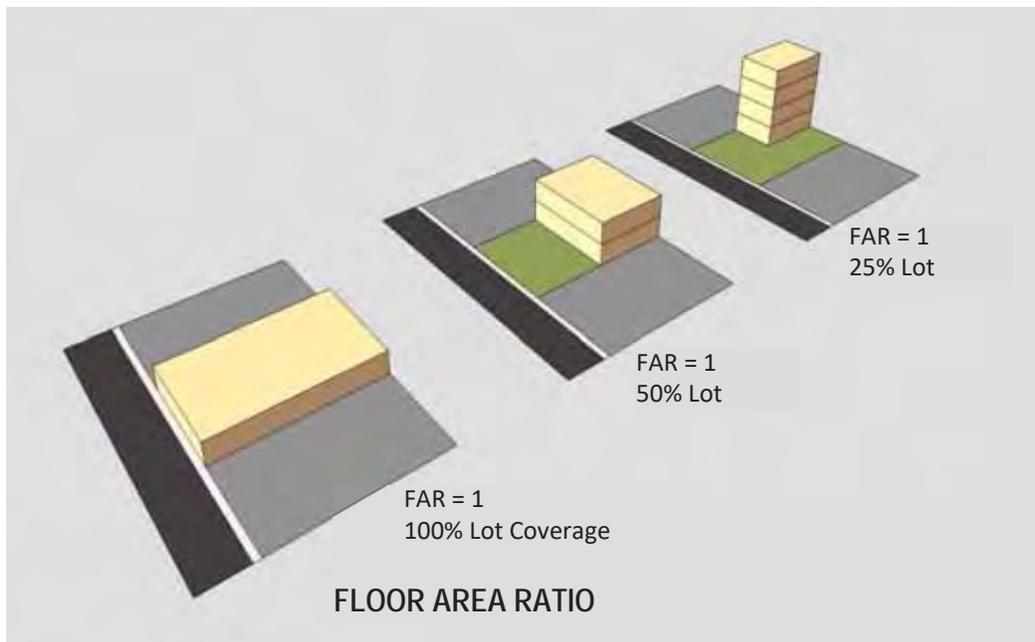


4. LOT COVERAGE AND SETBACKS

Setbacks shall be in accordance with the PUD. Please reference Appendix C of the Design Guidelines for setbacks and lot regulations as outlined in the PUD.

5. FLOOR AREA RATIO (FAR)

- a. Building massing should be consistent with the surrounding environment, where appropriate, and within the floor area ratio (FAR). All buildings shall be designed to avoid monumental or massive buildings that are out of scale with their setting and detract from the neighborhood character. Large, unbroken, horizontal planes and vertical elevations are discouraged.
- b. Floor area ratio (FAR) is the measurement of a building's floor area in relation to the size of the lot that the parcel is located on.
- c. Maximum FAR shall be as follows:
 - (i) Single-story: 0.35
 - (ii) More than one story: 0.40
- d. Floor Area Ratio = Total Building Floor Area ÷ Total Lot Area
- e. For the purpose of determining the FAR, the total building floor area is the sum of the gross areas of each floor of each building on the lot.
 - (i) The FAR should be calculated as follows; summation of building (all floors), garage, screen porch and open porch areas, divided by total lot area.
 - (ii) For this calculation, the total lot area excludes the parts of the lot that are water.



6. IMPERVIOUS SURFACE COVERAGE

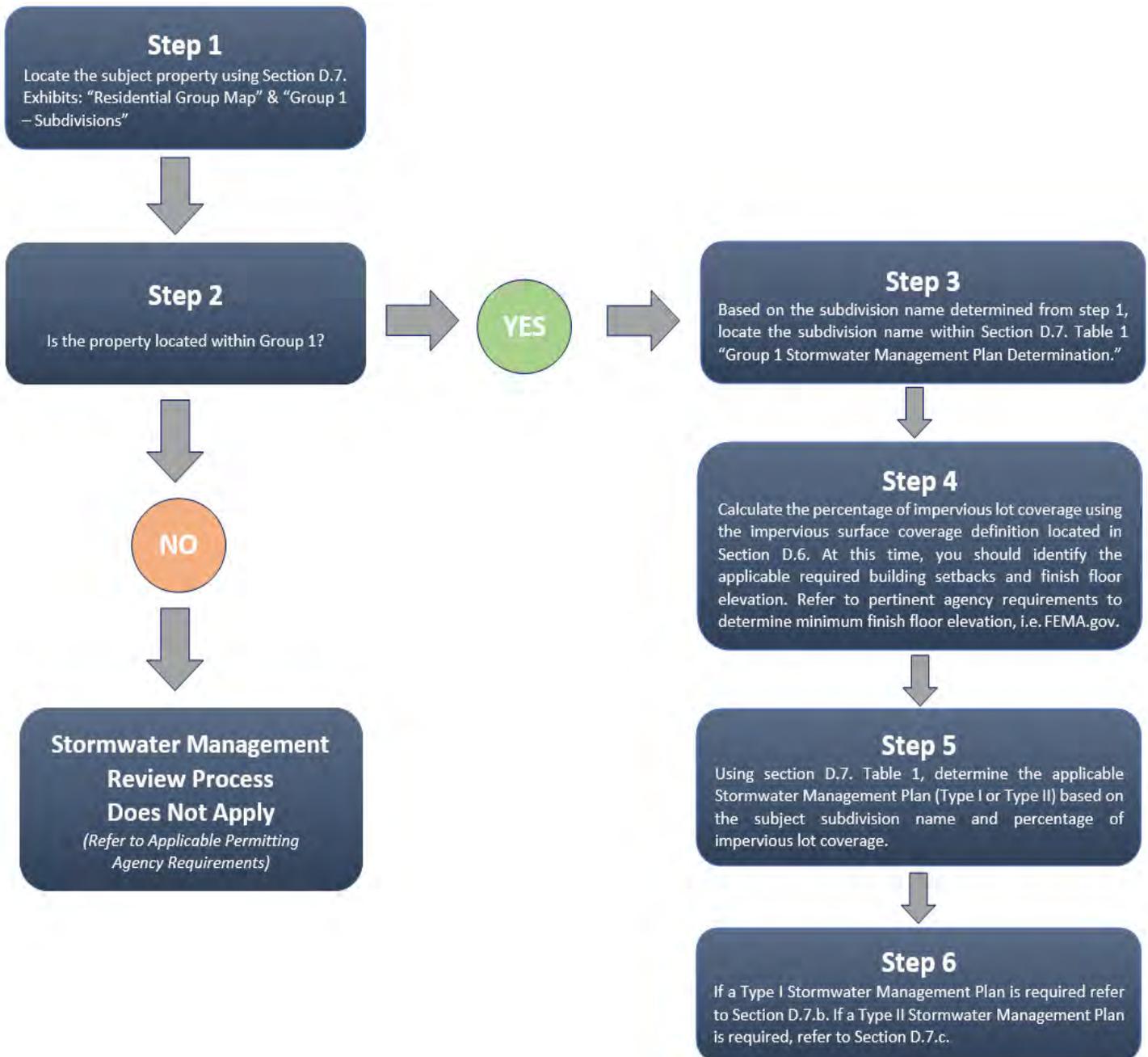
- a. Impervious surface standards are established to reduce the likelihood of flooding and preserve the integrity of the stormwater management system.
- b. By definition, impervious surface shall include building roofs, concrete and asphalt pads, pool deck (e.g. spraycrete), pavers with limerock base, swimming pools, and lined pond area. Additionally, the term pervious shall include grass, crushed stone (e.g. #57), mulch, pavers without limerock base, and unlined pond areas.
- c. Maximum impervious surface percentage shall be less than or equal to 55%
- d. Impervious surface coverage is measured in square feet as a percentage of total lot area and is calculated as follows:
 - (i) $\text{Impervious Surface Coverage Percentage} = (\text{Total Impervious Surface} \div \text{Total Lot Area}) * 100$
 - (ii) For this calculation, the total lot area excludes the parts of the lot that are water.

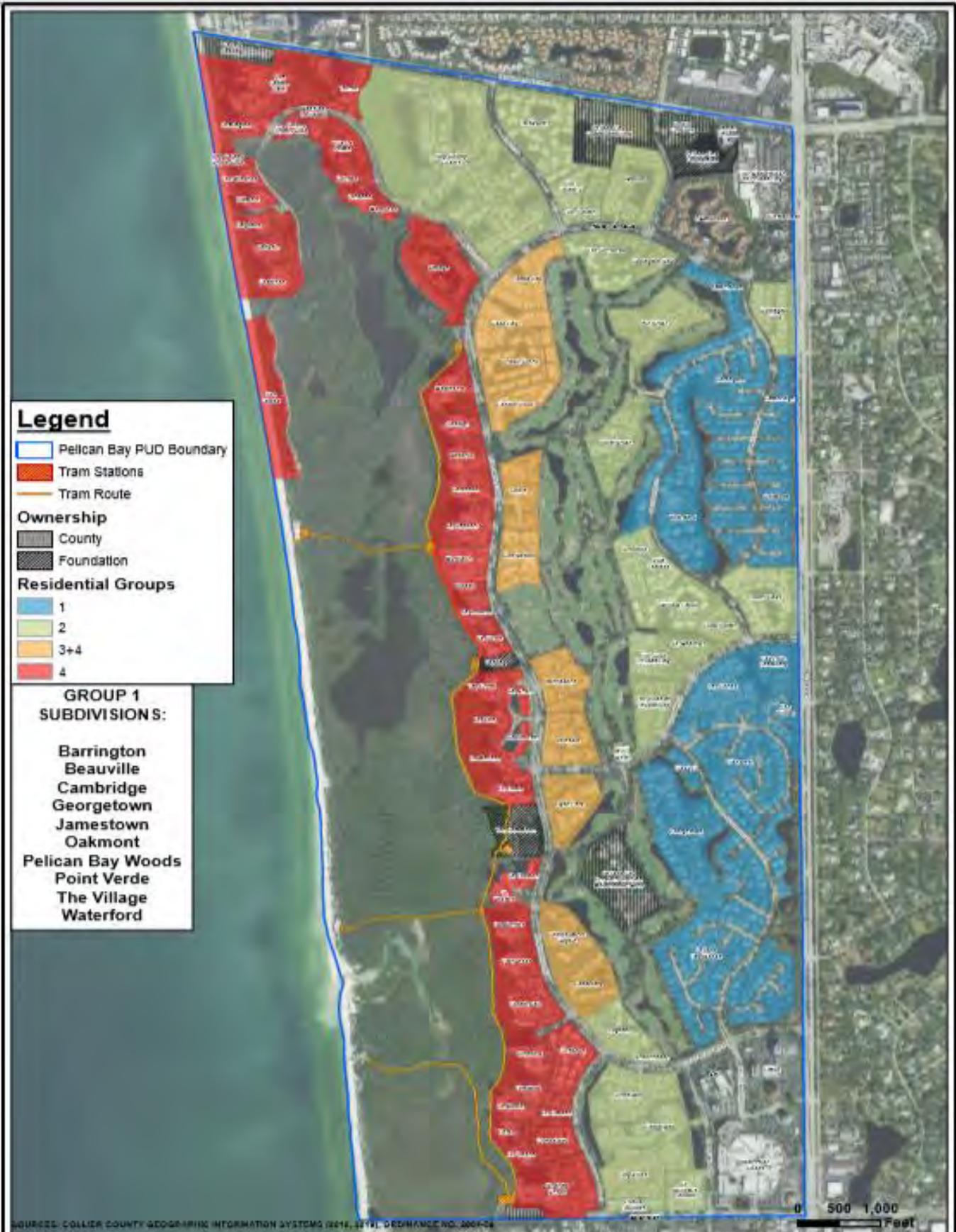
7. STORMWATER MANAGEMENT

- a. Stormwater Management Review Process
 - (i) Locate the subject property using Section D.7. Exhibit 1 “Residential Group Map”. This Exhibit will identify the applicable group number and subdivision name for the subject property.
 - (ii) Based on the Residential Group Map, if the subject property is located within Group 1, refer to step 3. If the subject property is not located within Group 1, the Stormwater Management Review Process does not apply (please refer to applicable permitting agency requirements).
 - (iii) Based on the subdivision name determined from step 1, locate the subdivision name within Section D.7. Table 1 “Group 1 Stormwater Management Plan Determination.”
 - (iv) Calculate the percentage of impervious lot coverage using the impervious surface coverage definition located in Section D.6. At this time, you should identify the applicable required building setbacks and finish floor elevation. Refer to pertinent agency requirements to determine minimum finish floor elevation, i.e. FEMA.gov.
 - (v) Using Section D.7. Table 1, determine the applicable Stormwater Management Plan (Type I or Type II) based on the subject subdivision name and the percentage of impervious lot coverage.
 - (vi) If a Type I Stormwater Management Plan is required, refer to Section D.7.b. If a Type II Stormwater Management Plan is required, refer to Section D.7.c.

Owners shall be held responsible to provide stormwater management plans signed and sealed by a licensed professional engineer in the state of Florida that meet professional standards designated herein.

STORMWATER MANAGEMENT PROCESS FLOWCHART





Legend

- Pelican Bay PUD Boundary
- Tram Stations
- Tram Route
- Ownership**
- County
- Foundation
- Residential Groups**
- 1
- 2
- 3+4
- 4

**GROUP 1
SUBDIVISIONS:**

- Barrington
- Beauville
- Cambridge
- Georgetown
- Jamestown
- Oakmont
- Pelican Bay Woods
- Point Verde
- The Village
- Waterford

SOURCE: COLLIER COUNTY GEOGRAPHIC INFORMATION SYSTEMS (2016, 2019), DEDINANCE NO. 2006-24

0 500 1,000 Feet

	<p>PLANNING DEPT. 4385 HALDO ROAD SUITE 201 NAPLES, FL 34104 239-434-0389</p>	<p>PROJECT: PELICAN BAY PUD MONITORING</p> <p>LOCATION: between Pine Ridge Rd. and Vanderbilt Beach Rd. and between UX 41 and the Gulf of Mexico</p>	<p>CLIENT: PELICAN BAY PUD FOUNDATION</p> <p>EXHIBIT DESC: Residential Group Map</p> <p>NOTES: SECTION D.7, EXHIBIT 1</p>
	<p>ESTABLISHED 1988</p>		

The following shall be required as part of the DRC Stormwater Management Review Process:

- b. Type I Stormwater Plan Requirements (< 40% impervious coverage) as referenced in Section D.7 Exhibit 2:
 - (i) Property survey (confirm existing conditions/improvements, corner monuments, easements, flood zone, FIRM, etc.)
 - (ii) Boundary & ROW survey (confirm adjacent properties, ROW information, etc.)
 - (iii) Topographic information (confirm land contours for site, adjacent properties, ROW, average crown of road and downstream drainage flow/outfall)
 - (iv) Site plan of the proposed building and hardscape improvements
 - (v) Required and provided building setbacks
 - (vi) Proposed finished floor elevations
 - (vii) Pervious and impervious area calculations based on impervious surface coverage definition
 - (viii) Identify the wet season water table elevation
 - (ix) Proposed site grading including the direction of stormwater runoff. Side yard and rear yard slopes shall be no steeper than 5:1 (H:V)
 - (x) Cross section through each property line (front, side and rear yards) depicting site improvements, elevations and slopes in relation to adjacent existing grade
 - (xi) Show roof gutter and downspout routing through sub-surface perforated socked pipe system to proposed outfall location (no retention required)

- c. Type II Stormwater Plan Requirements (40%-55% impervious coverage) as referenced in Section D.7 Exhibit 3:
 - (i) Property survey (confirm existing conditions/improvements, corner monuments, easements, flood zone, FIRM, etc.)
 - (ii) Boundary & ROW survey (confirm adjacent properties, ROW information, etc.)
 - (iii) Topographic information (confirm land contours for site, adjacent properties, ROW, average crown of road and downstream drainage flow/outfall)
 - (iv) Site plan of the proposed building and hardscape improvements
 - (v) Required and provided building setbacks
 - (vi) Proposed finished floor elevations
 - (vii) Pervious and impervious area calculations based on impervious surface coverage definition
 - (viii) Identify the wet season water table elevation
 - (ix) Proposed site grading including the direction of stormwater runoff. Side yard and rear yard slopes shall be no steeper than 5:1 (H:V)
 - (x) Cross section through each property line (front, side and rear yards) depicting site improvements, elevations and slopes in relation to adjacent existing grade
 - (xi) All stormwater management systems shall be designed as sub-surface drainage systems (i.e. underground exfiltration trench). The plan must identify all downspouts/rainwater leaders, yard drains, storm pipe, swales, perforated pipe, outfall location, etc.
 - (xii) Water quantity storage calculations that demonstrate the ability to accommodate the runoff from the area exceeding the applicable impervious threshold from the SFWMD 5-year 1-day storm event (5.50 inches)
 - (xiii) A perimeter berm shall be provided along the property line as applicable to avoid runoff into adjacent lots; minimum six (6) inches above adjacent average property grades.

- d. Stormwater Certification Requirements:
 - (i) Proposed drainage, hardscape, grading and elevations shall be confirmed by both on-site inspection/certification and submittal of record drawings at the completion of work. A hard copy and digital file of the record drawings shall be submitted to the Pelican Bay DRC for review and approval.

Section D.7. Table 1: Group 1 Stormwater Management Plan Determination

System II		
Subdivision	Impervious Surface Coverage	Guideline
Georgetown	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Pelican Bay Woods	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Pinecrest	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
The Village	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
System III		
Beauville	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
System IV		
Barrington	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Cambridge	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Jamestown	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Oakmont 6	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Oakmont 7	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Oakmont 11	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Pointe Verde	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted
Waterford	<40%	Type I Stormwater Plan per Section D.7.b
	40% - 55%	Type II Stormwater Plan per Section D.7.c
	>55%	Not Permitted

8. BUILDING CONFIGURATION

a. Scale, Form and Massing

- (i) A Dwelling Unit shall have one primary mass and at least one secondary mass. The mass defines a building's shape or form in general outline and gives the impression of weight, density, and bulk. A primary mass is the largest and main shape in the building block. The secondary mass(es) are the additional shapes that form the shape of a building and help define the façade of the building.



- (ii) Reflect the elements of residential design that are prevalent in the neighborhood when designing new homes or remodeling existing homes.

- (iii) No single residential structure (including rows of attached dwellings or townhouses) should measure more than 200 feet in any direction.

- (iv) Large areas of flat, blank walls and lack of treatment is limited to no more than 35% of the overall surface of a façade.



- (v) Include 2 or more of the following elements in each home, but not necessarily the same each time:

- (1) Bay or bow windows
- (2) Recessed entries
- (3) Covered porch or portico
- (4) Columns
- (5) Dormers
- (6) Varied roof forms
- (7) Walls with texture materials

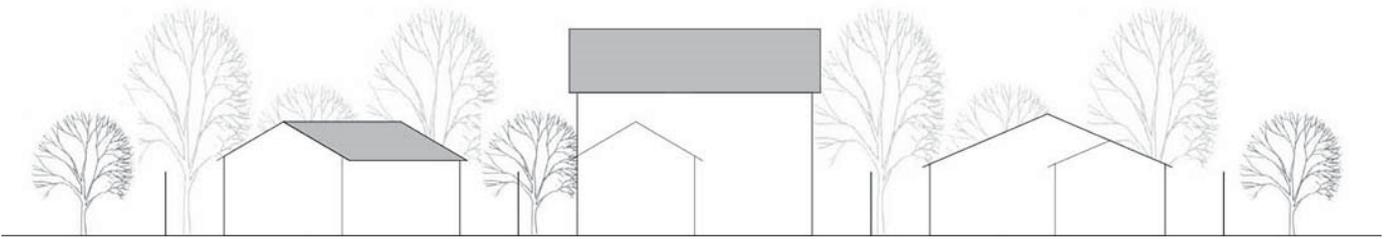
- (vi) Proportional relationship between adjacent buildings and between the building and the street should be maintained.

- (1) The scale and massing of a new Dwelling Unit or addition should be compatible with the scale and massing of the neighboring Dwelling Units.

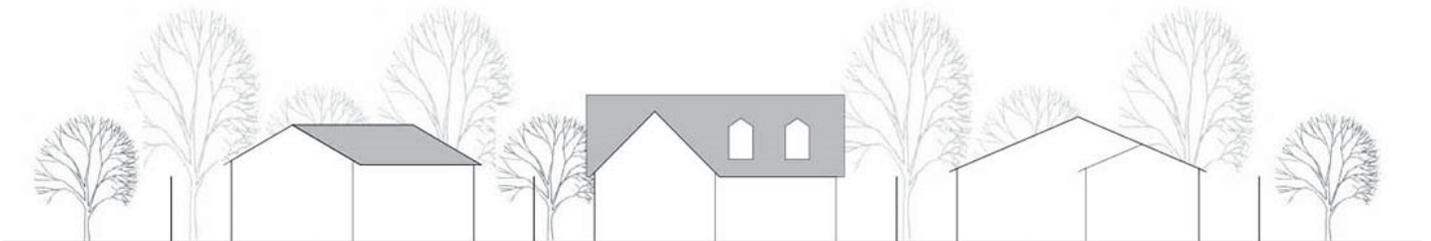
- a. A new Dwelling Unit or addition shall be designed of a similar scale to that of the neighboring houses. Use massing that is common to buildings on the same block or in the same neighborhood. If a new Dwelling Unit or addition is proposed to be larger than the surrounding houses, use design techniques (as illustrated on the following page) to reduce the apparent mass and scale in a manner to be compatible

with the surrounding neighborhood.

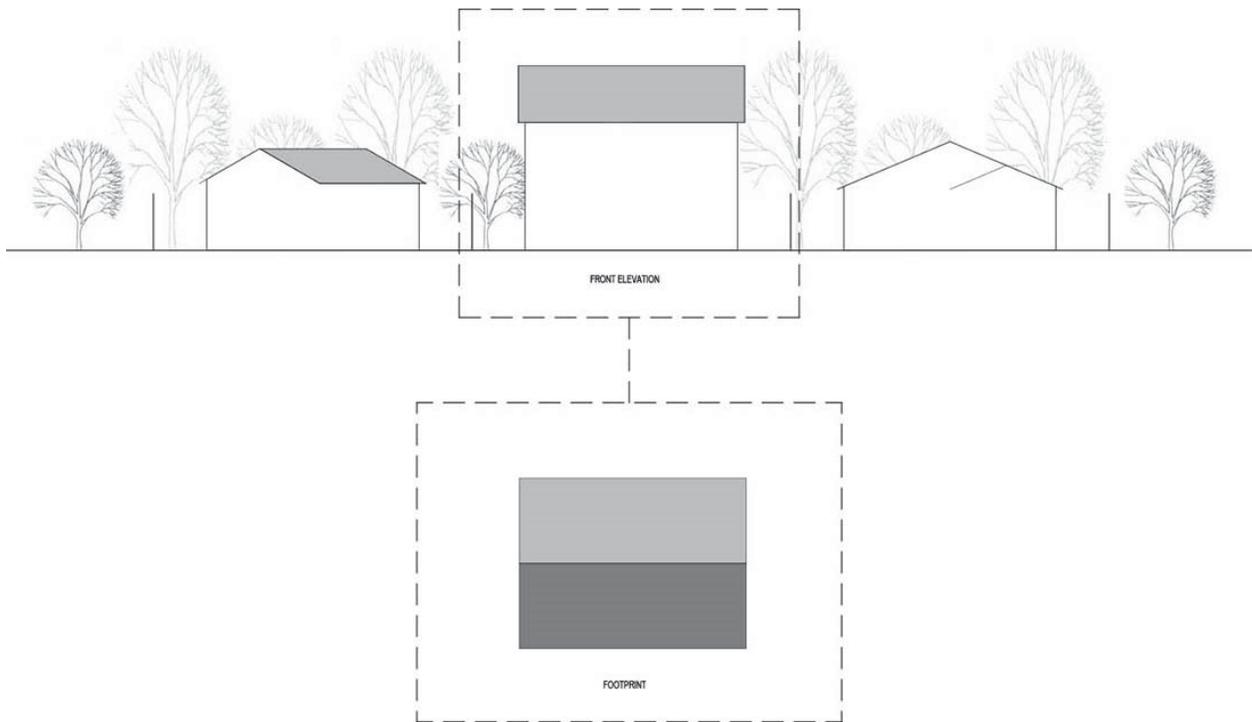
- (2) See Section 9a Relationship to Adjacent Properties for factors in addressing building height as it relates to scale and to adjacent properties.
- (3) In determining proportional relationship between adjacent buildings, a contextual site elevation shall be provided illustrating the following conditions:
 - a. Overall building elevation including all building(s) and structures on the lot, and showing building elevations of adjacent properties to each side of the property illustrated in uniform drawing scale.



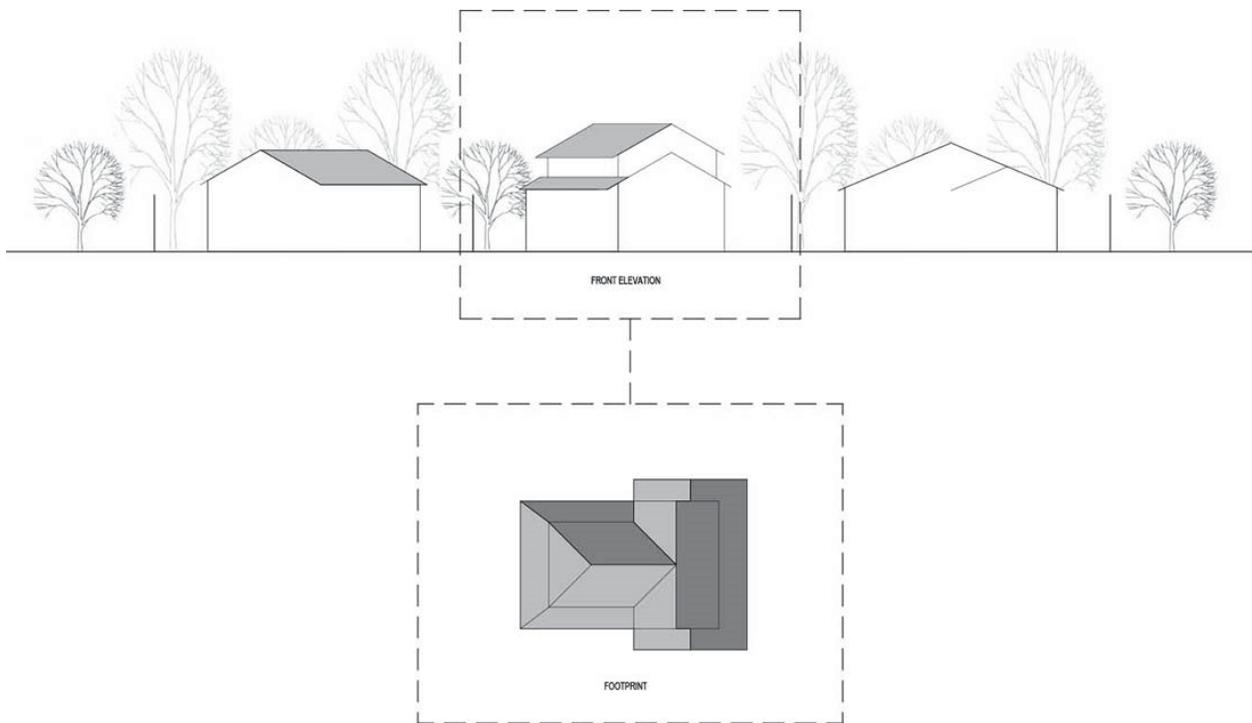
A full height two-story house is out of scale in a neighborhood of single-story houses



Dormers help keep the second story addition more in scale with the neighborhood



This rectangular footprint in the illustration above leads to a relatively massive looking two-story house that will appear out of scale with the neighborhood



A slightly more complex footprint with a stepped back second story provide greater articulation and reduced apparent massing, while maintaining similar volume and function

- (viii) Placement and configuration of car garages should be considered to break the building mass facing the street.
- (1) Garage placement and setback may be varied to break the visual mass of buildings and improve streetscape appearance. Designs that push the living area towards the street and de-emphasize the garage are highly encouraged.
 - (2) Visual dominance of the garage to the front street should be reduced to the extent possible by providing a variety of driveway orientations and types.
 - (3) When front entry garages are used, garage door openings shall not comprise more than 40% of the length of the front street facing façade of the home measured along the ground floor.



Garage is side loading thru the front; Does not visually dominate the street front



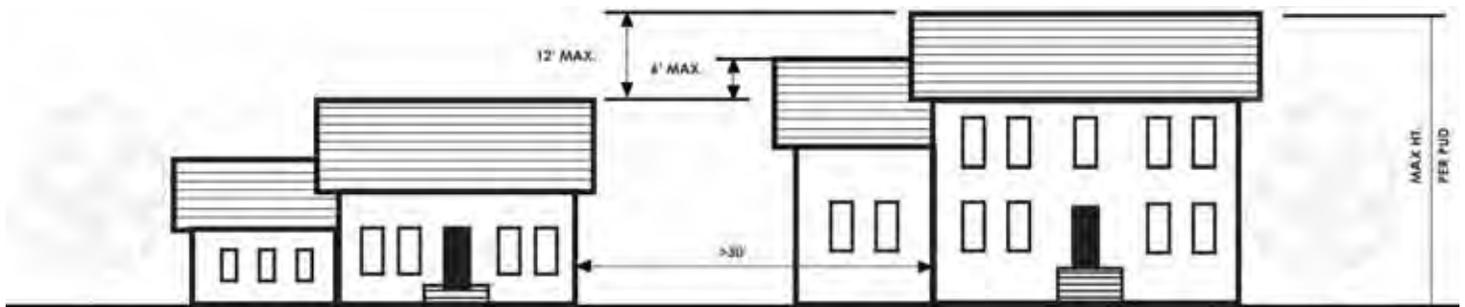
Garage is to the side away from the front of the house

9. RELATIONSHIP TO ADJACENT PROPERTIES

This section addresses the relationship between new construction and adjacent existing single-family Dwelling Units.

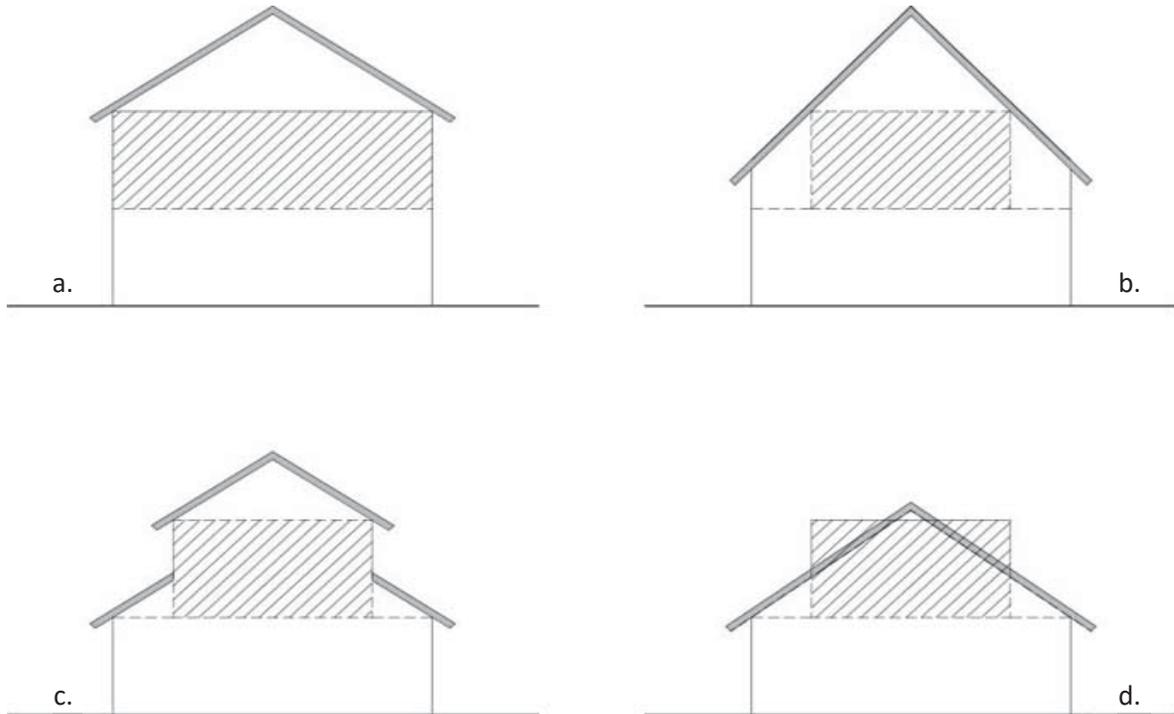
a. Height

- (i) The maximum height of a Dwelling Unit shall be 30 feet above the minimum base flood elevation required by the Flood Elevation Ordinance of Collier County, Florida.
- (ii) In general, building heights should be varied to break up monotonous roof lines.
- (iii) The following addresses how the height of one Dwelling Unit should relate to the height of adjacent Dwelling Units or the character of a particular Neighborhood.
 - (1) Maximum building eave's height at the minimum setback may not exceed 14 feet in height.
 - (2) For two-story buildings, or buildings taller than 14 feet in height (from finished floor to finished ceiling) an additional setback of 7 ½ feet in addition to the minimum setback shall be provided so that the second story walls are stepped back from the first-floor walls. The minimum setback for the entire dwelling unit shall be 10 ft.
 - (3) The highest point of any new structure or newly constructed portion of an existing structure shall be no more than 12 feet above the highest point of the roof of another house on either side.
 - (4) Provide gradual transition of building height and mass by ensuring that portions of new structures or modifications to existing structures that are within 30 feet of an existing dwelling unit shall not exceed the height of the existing dwelling by more than 6 feet.



Building Height Transition

- (5) Utilize lowered eave lines for buildings that are adjacent to existing single-story or lowered eave line Dwelling Units. Lowering the eave line may be accomplished by substituting an attic conversion or attic addition in place of a full height two-story design, by utilizing half-height walls, and/or stepping the second floor back from the first-floor walls.



Eaves lowering examples

- a. Full-height 2nd story without lowered eaves*
b. Steeper roof pitch allowing half height second story walls
c. Second story stepped back from first-story walls
d. Attic addition with dormers, which helps preserve single story eaveheight

(iv) Second Story Location

- (1) To the extent possible, locate the second story over the living areas of a Dwelling Unit rather than over the garage.
- (2) Locate the second story back from the front and sides of the first story a distance sufficient to reduce the apparent overall scale of the building but not less than 7 ½ feet beyond the minimum setback.
- (3) Second story additions that are located exclusively over the garage are prohibited.

b. Building Orientation

- (i) Principal Buildings shall orient to the street, both functionally and visually.
- (ii) Main entrances must face the main street not the side or rear of the property.
 - (1) Create a sense of entry with entrance framed by covered porch, portico or other design elements to strongly delineate main entry.
 - (2) Avoid façades with no strong sense of entry.

10. ARCHITECTURAL COMPONENTS

The materials, configurations, and operations prescribed herein are standard; all others are prohibited.

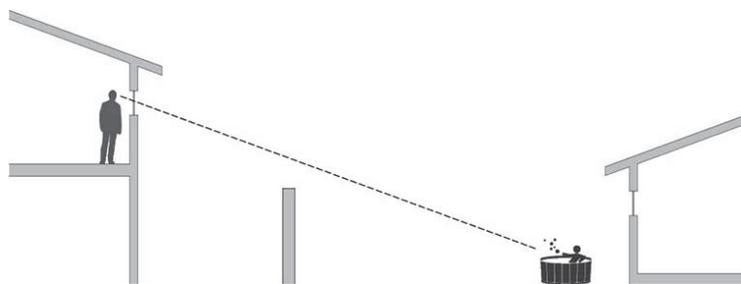
a. **Window opening placement**

(i) Window placement

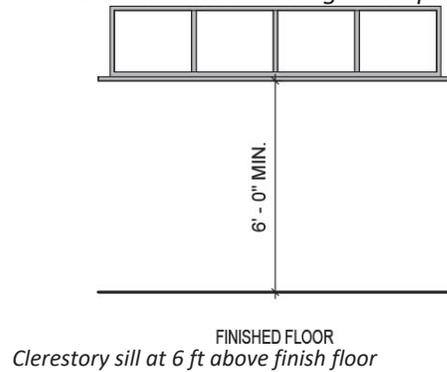
- (1) Windows facing and within 25 feet of common property lines shall have either (a) sills at minimum of 6 ft. above finished-floor level or (b) lower sills with a means of permanently obstructing views into neighboring windows and yards. Screening views into neighboring windows and yards may be achieved by any of the following:
 - a. Utilize fixed windows with translucent/obscured glass, or offset windows, as appropriate, at window locations that would otherwise provide direct views into private rear yard areas of neighboring properties.
 - b. Landscape buffer.
 - c. Windows whose sight lines are confined to their lot by privacy walls are exempted from these restrictions.

(ii) Clerestory

- (1) In a two-story or higher dwelling unit, and where portions of new structures or modifications to existing structures are within 30 feet of an existing dwelling unit, use clerestory windows on the second story at 6 ft above finish floor.



Avoid placing windows that look down into neighbors' private backyard



b. Exterior Building Walls and Trim

(i) General

- (1) All exterior walls must be finished in similar materials and use consistent detailing on all sides of the main volume of Dwelling Units, garage, and any other structure on the lot.
- (2) Simple pattern changes to distinguish volumes or define design elements are allowed. Numerous pattern changes in siding are discouraged.
- (3) All windows, doors and edges of building masses with siding must be edged with trim.

(ii) Materials

- (1) Permissible exterior building wall materials include the following:
 - Painted Stucco
 - Brick
 - Brick may be painted
 - Painted wood or fiber cement board siding, 3 1/2 to 6 inches
 - Fiber cement products shall have smooth surfaces.
 - Fiber cement product with embossed woodgrain texture is prohibited.
 - Wood siding may be pressure treated pine, cedar or cypress.
 - Keystone (a Florida aquatic sedimentary stone) or coral rock in its natural patina
- (2) Anodized or paint finish are required on all metal surfaces including windows, flashing, drips, and caps, in colors matching the trim colors.
- (3) Trim shall be wood or wood/cement product.
- (4) Vinyl or metal siding is not allowed.

c. Windows and Doors

(i) General

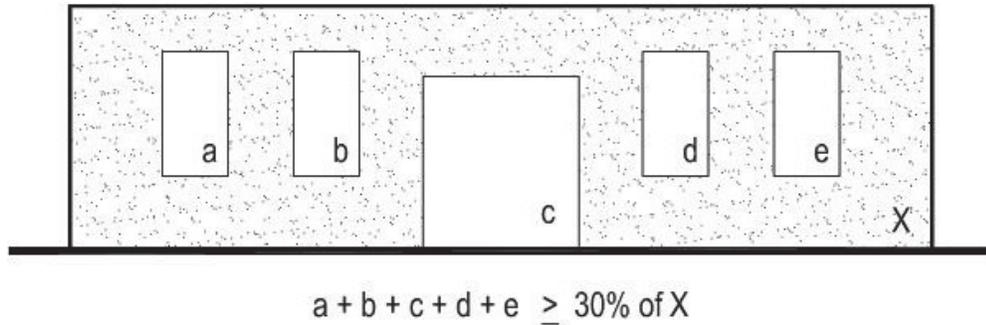
- (1) Where visible from the street, or common areas, all window, door, shutter, and gate designs must be approved by the DRC. All materials must be identified on the drawings submitted to the DRC.
- (2) Wood or terra-cotta window boxes and metal flowerpot holders are permitted.
- (3) All major vertical surfaces shall be articulated with windows.

(ii) Materials

- (1) The following shall be permitted:
 - a. Clear glass with no more than 10 percent reduced-light transmission (except where required for privacy considerations)
 - b. Aluminum clad wood window frames – bronze, charcoal, or white
 - c. Solid-wood window frames, doors, shutters, and trim
- (2) Windows shall have trim surrounds, minimum 3 ½" wide
- (3) Windows with multiple panes of glass shall use true divided lights (TDL) separated by muntins.
 - a. Simulated divided-light (SDL) windows are permissible.
- (4) Reflective glass, film, or tinting is not allowed
- (5) Burglar bars, steel or wrought iron bars or similar security treatment is not allowed on the exterior of windows.

(iii) Configuration

Where visible from the street, fenestration may not be less than 30% of the façade area.



d. Shutters Hurricane/Storm

(i) Removable Panels and Mounting Hardware

- (1) Generally discouraged as they are usually mill finished corrugated aluminum or clear corrugated Lexan and not decorative. They shall only be installed when a severe weather emergency has been issued for the area and shall be removed not later than two (2) weeks after warnings are removed or the emergency passes. Removable panels shall not be stored on the exterior of the Dwelling Unit.
- (2) Any tracks and/or other hardware shall only be installed when a severe weather emergency has been issued for the area and shall be removed not later than two (2) weeks after warnings are removed or the emergency passes. If hardware is permanently attached, it shall be painted to match the color to which it is attached.

(ii) Roll-Up Shutters

- (1) Housing shall be installed as high and as close to soffits where possible.
- (2) Housing and tracks must be painted to match the existing body or trim color of the Dwelling Unit.
- (3) Slats must match as closely as possible to existing body or trim color of the Dwelling Unit.
- (4) Motorize shutters shall not have visibly exposed wire or conduit on the exterior of the Dwelling Unit.

(iii) Removable Armour Shield/Fabric and Mounting Hardware

- (1) Color of fabric or straps shall be compatible to existing color palette of residence. They shall only be installed when a severe weather emergency has been issued for the area and shall be removed not later than two (2) weeks after warnings are removed or the emergency passes. Armour Shield/Fabric panels shall not be stored on the exterior of the Dwelling Unit.
- (2) Mounting hardware shall only be installed when a severe weather emergency has been issued for the area and shall be removed not later than two (2) weeks after warnings are removed or the emergency passes. If hardware is permanently attached, it shall be painted to match the color to which it is attached.

(iv) Accordion Shutters

- (1) Header, sills and track must be painted to match the existing body or trim color to which it is attached. Housing shall be installed as high and as close to soffits where possible.
- (2) When "closed", folding slats must be of the type that when fully stacked on either side of the opening the slats total one (1") inch per foot in thickness. Slats shall match as closely as possible to the existing body or trim color of the Dwelling Unit. Temporary shutters may be installed when a hurricane or storm watch is issued for the area.

(v) Bahama Shutters

- (1) Shall remain in the OPEN position a maximum of thirty (30) degrees under normal weather conditions.
- (2) All hardware shall match the color of the surface to which it is attached.
- (3) Bahama Shutters must be compatible in color with the Dwelling Unit. Storm bars must match the color of the shutter.
- (4) Storm bars shall only be in place when a severe weather emergency has been issued for the area and shall be removed not later than two (2) weeks after warnings are removed or the emergency passes.

e. Columns

(i) This section addresses exterior columns visible from the street.

(ii) General:

- (1) Columns shall be square, rectangular, or round and shall have a width proportional to their height.
- (2) Columns may be single, paired, or in small grouping.
- (3) Column base should appear as solid.
- (4) The center of the structural beam to be aligned with the center of the column.
- (5) Column caps and capitals to project beyond vertical faces of the beam.

(iii) Materials:

- (1) Columns may be of materials matching main wall finishes, and any of the following:
 - a. Wood, painted or stained
 - b. Fiberglass, finished in color to complement Principal Building
- (2) Aluminum columns are not acceptable.

f. Foundations and Chimneys

(i) Foundations

- (1) Exposed foundation shall be clad with appropriate wall-facing material that blends in with the Principal Building.
- (2) Openings between foundation piers must be covered and clad with appropriate wall-facing material that blends in with the Principal Building.
- (3) Foundation above grade elevation shall be no more than required by applicable flood control regulations.

(ii) Chimneys

- (1) Chimneys should be simple in massing and articulation, and appropriate to the architectural design of the Principal Building. Chimneys shall be located on the side least visible from neighboring properties and not higher than the minimum required height restrictions, not to exceed thirty (30) feet.
- (2) Chimney projections on exterior walls shall extend to the foundation.
- (3) Chimneys must be clad with stucco, brick or stone. Chimneys shall be constructed of material and colors that match, or are harmonious with, the material and exterior color of the Principle Building. Siding materials on chimneys is not acceptable.
- (4) If pre-fabricated metal fireplaces are used, they shall have appropriate coverings for all exposed flue pipes with materials indicated in these guidelines. Flues or direct vents shall extend through the roof and are prohibited through walls.
- (5) Chimney caps should be scaled to fit the chimney and must be compatible with the chimney structure and Principal Building.

g. Privacy Walls and Fences

Privacy walls and fences must comply with the following guidelines:

(i) General

- (1) Prohibited on property line.
- (2) Privacy walls and fences are not allowed in the front yard or in the front of the house.
- (3) A landscape buffer is required between wall/fence and adjacent property. An adequate area shall be provided for maintenance.
- (4) All structures must be built within the wall/fence.
- (5) Maximum height of six feet (6) unless otherwise noted in the Regulating Documents.
- (6) Height of wall/fence shall be measured from the existing grade.
- (7) Reference Landscape Standards for buffers and hedges.

(ii) Materials

(1) Wall:

- a. Painted stucco, stone or brick may be used for wall material. Wall material must match the primary material of the main Principal Building. No other materials allowed.
- b. Privacy wall surfaces may be up to 85% overall opacity*

(2) Fence, which shall include gates, posts, pickets and all fence component parts (except hardware):

- a. Painted or stained wood or painted aluminum may be used for fencing material. Mill finish aluminum is not allowed.
- b. Masonry piers may be used in the fencing configuration. Piers material to match and blend with the primary material of the Principal Building.
- c. Chain link and vinyl fencing are prohibited.
- d. Fencing is not permitted in the front yard.
- e. Fences should be no more than 50% opaque*
- f. Fencing shall be a minimum of 6" from sidewalks.
- g. Landscaping shall be used to soften the visual impact of fences.

(3) Partial Fence Replacement. Partial fence replacement shall be considered provided that:

- a. The replacement panels are of a like kind of material, form, design and color.
- b. If no suitable replacement can be found, or if the property owner wishes to change the type of fencing, then the entire fence must be replaced in its entirety.
- c. A transition in fencing type may occur at corners, provided that all fence types harmonize

(4) Removal of Wall or Fencing: Requires the submission of a Design Review Application.

* A single, large opening may not replace the transparency allowed. The design intent is to proportionally distribute the level of opacity.

h. Trash Enclosures

- (i) Fully enclosed storage facilities for garbage and trash containers shall be required for each dwelling unit such that all trash is stored out of sight at all times except for the approved interval during which such items are placed adjacent to the street for pick-up.
- (ii) Trash containers shall be screened from the street by a fence, wall, or landscaping.

(iii) See Privacy Walls and Fences for allowed wall or fencing materials and for maximum height (Six (6) feet).

(iv) Trash enclosure shall be a minimum of 48 inches high.

i. Porches

(i) General

(1) Porches are an integral part of the Dwelling Unit. They belong to both the private space of the Dwelling Unit and the community space of the street.

(2) Porches may be an additive form onto the Primary Mass of the Dwelling Unit, or they may be subtractive, carved out of the Primary Mass.

a. Additive porches must be roofed with structure and material to blend with the Principal Building. Screened Roof Porch Enclosures are not allowed.

b. See also Pool Enclosures for addressing enclosures at swimming pools, hot tubs and spas.

(3) Dwelling Units may have more than one porch.

(4) If incorporated into the design, porches should have functional and usable dimensions as follows:

a. Minimum depth: 6 ft from face of exterior wall to face of exterior edge of porch

b. The primary porch, traditionally known as the front porch, and defined as an exterior appendage to a building, forming a covered approach or vestibule to the main building doorway, shall be not less than 8'-0" deep.

(5) Porches may be open or screened. Porches that are visible from the street may not be screened.

(ii) Materials

(1) Porches shall be constructed of materials that blend with the main Dwelling Unit and including:

a. Stone, cast stone, or painted stucco piers and brackets

b. Brick piers

c. Painted or stained wood posts, piers, brackets and balusters

(2) Porch screens shall be non-corrosive metal and dark bronze in color.

a. The screen framing must be treated as an integral aspect of the architecture of the

Dwelling Unit. The framing must be mounted behind the porch's structure or wall structure.

j. Balconies

(i) General

- (1) Balconies are an integral part of the Dwelling Unit and shall be constructed of materials and colors that blend with and complement the main Dwelling Unit's architectural style.
- (2) Balconies may be open or screened. Balconies that are visible from the street may not be screened.
 - a. Screened balconies must be roofed with structure and materials to match and blend with the Principal Building. Screened Roof Balcony Enclosures are not allowed.
- (3) Balconies may not be built over or encroach into easements without approval by the holder of the easement, and only if permitted by applicable governing laws and ordinances.
- (4) If incorporated into the design, balconies should have functional and usable dimensions as follows:
 - a. Minimum depth: 5 ft from face of exterior wall to face of exterior edge of balcony

(ii) Materials

- (1) Balconies may be constructed of same materials as Porches.
- (2) Balcony railing materials may be painted or stained wood or painted metal railings.
 - (i) Vinyl or PVC balcony railings are not allowed.
- (3) Balcony screens may be constructed of same materials and configuration as Porches.

k. Pool Enclosures

(i) General

- (1) Swimming pools may be enclosed by screened enclosures.
- (2) The frames of the screen enclosure shall not be visible from the street excluding cul- de-sac streets.
- (3) The screen framing must be treated as an integral aspect of the architecture of and shall be compatible with the Principal Building.
- (4) Flat roofed screen enclosures are not allowed unless the enclosure is part of an approved mansard screen enclosure and the sloped portions are compatible in pitch with the Principal Building.

(5) Pool enclosures must be screened from view of adjoining sites, Dwelling Units and streets by landscaping, fences, or privacy walls.

(ii) Material

(1) The screen framing structure's material shall be compatible with the Principal Building.

(2) Screens shall be non-corrosive metal and dark bronze in color.

I. Patios and Decks

(i) Patios

(1) Open patios are an integral part of the landscape and shall be screened from adjoining properties with a landscape buffer, privacy wall or fencing.

a. Open patios shall be constructed of material that blends in with the Principal Building and that helps reduce surface water and pollutant runoff by maximizing the use of pervious surfaces.

(2) Enclosed patios are an integral part of the Dwelling Unit and shall be treated in accordance with the section on Porches.

(3) See also Pool Enclosures for patios containing swimming pools.

(ii) Decks

(1) Decks are an integral part of the patio area or Dwelling Unit and shall be constructed of material that blends with the Principal Building.

(2) Railings or fencing at decks shall be no more than 50% opaque.

a. Vinyl or PVC railings are not allowed.

b. Deck railings or fencing shall not be more than 42" in height.

m. Gutters/Downspouts

(i) New home construction must have continuous gutters around entire perimeter of the home with downspouts connected to subsurface drainage that runs to the front or rear of the property

(ii) Exposed gutters and downspouts shall be painted to match the color of the surface they are attached to or match the trim of or the main color of the Principal Building.

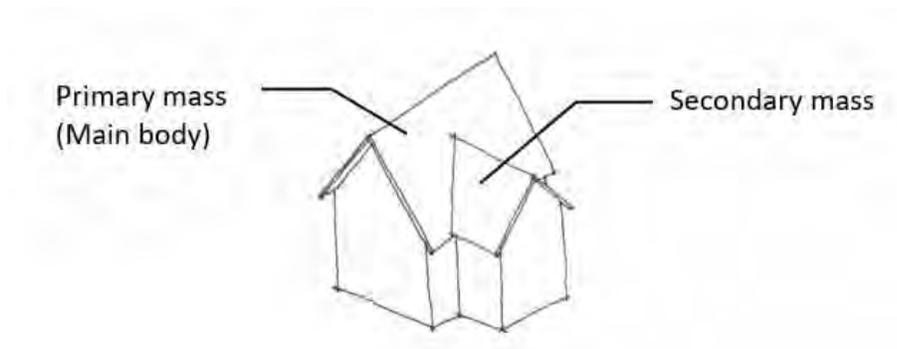
(iii) Existing downspouts shall direct runoff towards the front and/or rear of property; shall not be directed towards or cause ponding, erosion or unfavorable impact on neighboring properties, nor be directly discharged to a stormwater system.

- (iv) All drain extensions must be buried below ground.
- (v) Galvanized gutters are not allowed. Exposed attachment straps are not permitted.

n. Roofs

(i) General

- (1) Roof massing should be hierarchical, with a clear expression of main and secondary masses.
 - a. Primary masses are the largest forms in a composition. They are perceivable at a glance as the main body of a building, to which other smaller secondary masses and details may be added.
 - b. Secondary masses, or appendages, may either project horizontally from primary masses or may project vertically from primary masses. A secondary mass connecting two primary masses is called a link.



- (2) Roof height, pitch, ridgelines, and roof materials should be varied to create visual interest and to avoid repetition but shall be compatible with the surrounding properties.
- (3) The following are prohibited:
 - a. Widow's walks
 - b. Roof-level decks
 - c. Pediments and/or sculptures above the eaves' line
- (4) Skylights are allowed if not visible from the street.
- (5) Rooftop equipment and accessories including roof stacks and vents shall be painted to match the roof color and shall not be visible from the street.
 - a. Roof stacks and vents must be on the interior side of the roof edge and not visible from the street.

(ii) Configuration

(1) Pitch (slope): Unless otherwise specified in the Neighborhood Covenants applicable to a property, the minimum roof pitch shall be 5:12

a. Flat roofs are prohibited

(2) Profile:

a. Symmetrically pitched simple hipped or gabled roofs

b. Simple shed roofs leaning against the Principal Building

c. Eave (overhang) with a minimum depth of 24 inches is required (30 inches is encouraged) on the Principal Building and 16 inches (20 inches is encouraged) for shed roofs and ancillary structures.

(1) Where an ancillary building roof abuts adjacent property lot line, the eave may not project beyond property line.

d. Dormers may not be closer than 3 feet to the gabled ends of the building

(3) Roof elements that face side yards shall slope away from the side yard line and shall be no closer than 5 feet from the side yard setback line.

(iii) Materials

(1) Unless otherwise specified in the Neighborhood Covenants applicable to a property the following are permitted roofing materials. All other materials are prohibited.

a. Clay, slate, or concrete barrel, flat and "S" tile

b. Hand sawn or split cedar shakes

c. Stone coated steel.

d. Attractive new materials will be considered.

o. Ancillary (Accessory) Structures

(i) Ancillary structures consist of, but are not limited to, gazebos, cabanas, greenhouses, trellises, pergolas and outdoor showers.

(ii) Ancillary structures should be treated as extensions of the Principal Building and shall comply with the same architectural design requirements as the Principal Building.

(iii) Ancillary structures shall match or blend with the Principal Building in material, color and style.

a. Cabanas/Studios:

- i. Attached or detached courtyard residences which include cabana bedrooms separately accessed from the courtyard and not from the main house are permitted providing that:
- ii. The cabana structure shall be connected to other portions of the residence in a manner that gives the appearance in elevation from the street of being one single family residence;
- iii. The cabana structures must be accessible only from the enclosed courtyard and must not be accessible directly from the street;
- iv. The cabana structure may not contain primary cooking facilities.

(iv) Ancillary structures are an integral part of the landscape and shall be located in the rear yard.

(v) Recreational vehicles/motor homes storage and parking is prohibited on the property unless fully enclosed in a structure.

(vi) Freestanding storage structures including, without limitations, sheds are prohibited.

(vii) Outdoor showers may be provided with a privacy enclosure but are not required to be enclosed. If an enclosure is provided, the enclosure shall match and blend in material and color with the Principal Building and shall comply with the setback requirements of the Principal Building.

(viii) Outdoor Recreational Equipment

(1) A playhouse shall be reviewed and approved by the DRC if it measures more than 24 square feet, is more than 6 feet high from peak to ground, or is constructed on a concrete slab or footing. All playhouses must be located in the rear yard and screened from view from adjacent properties and the street.

(2) Swings and swing play sets shall be reviewed and approved by the DRC. Swings and swing play sets are not allowed in the front or side yards.

(3) Tree houses are not permitted.

p. Exterior Lighting

(i) Simplicity of form and prevention of direct view of the light source are the guiding principles for all exterior lighting.

(ii) Pedestrian-scale lighting shall be integrated into building and landscape design.

(iii) Exterior light fixtures shall be:

(1) Compatible with the architectural style, materials, color and scale of the Principal Building.

- (2) Used to reinforce the architectural features and blend into the landscape. Accent lighting may be used to highlight unique design features.
- (3) Shielded and directed down to shield adjacent properties from direct light source and glare and shall be located to avoid light spillage onto adjacent properties and in private spaces.
- (4) Low wattage (30 watts at residential streets)
- (5) Dark colored, minimizing blue light emissions, using lighting that has a color temperature of no more than 3000 Kelvins.
- (6) LED, Incandescent or halogen elements
- (7) No brighter than the Pelican Bay street lights
- (iv) High wattage spotlights or floodlights are prohibited.
- (v) Ballasted fixtures (sodium, mercury, multi-vapor, fluorescent etc.) are prohibited.
- (vi) Colored lights are prohibited, except as temporary seasonal holiday decorations.
- (vii) For landscape lighting see Landscape Standards.

q. Exterior Equipment, Devices and Hardware

(i) General

- (1) Exterior equipment, devices and hardware, consist of, but are not limited to air conditioning equipment, utility boxes, generators, solar devices, satellite devices, pool equipment, and clotheslines.
- (2) To preserve the visual integrity and character of Pelican Bay, unless otherwise required by law, exterior equipment, devices and hardware must not be visible from the street but must be enclosed and screened from view, either within fenced enclosures, behind privacy walls or within enclosed structures attached to the Principal Building and, unless otherwise required by law, shall comply with the following:
 - a. Enclosures must comply with section on Privacy Walls and Fences and the corresponding criteria contained in this section.
 - b. Landscape buffer is required around enclosures. See Landscape Standards for buffers.

(ii) Air Conditioning Equipment

- (1) Location of additional exterior central air conditioning units which are typically installed on a level pad on the ground or relocation of existing units may be considered so long as they are placed near existing units and do not have any adverse audible or visual impact on adjoining lots and open spaces. The units noise rating must be below seventy (70) decibels.

- (2) Equipment Pads may extend into easement however installing equipment within any easement is done at the owner's peril. The DRC does not have the right to grant "approval" within an easement. Owners must move the equipment out of the easement or shall obtain releases (Letters of No Objection) from all utilities in whose favor the easement is granted.
- (3) Window air conditioning units are prohibited.
- (4) Air conditioning equipment shall be screened by a masonry block wall and clad with material and color to match and blend with the Principal Building; or with a landscape buffer. Air conditioning equipment screen shall be of adequate height to conceal the top of the equipment but not higher than 48 inches.
- (5) Through wall air conditioning units are permitted with the following conditions:
 - a. The outside unit must be screened as indicated in this section.
 - b. Exterior appendages such as refrigerant lines may not be visible from the street or adjoining properties.

NOTE: Approval of Neighborhood Architectural Committee and/or Neighborhood Association Board is required.

(iii) Utility Boxes

- (1) Electric, gas, cable and telephone company meters or boxes shall be screened from view by elements of the architecture and/or sufficient landscaping or low screen walls compliant with these Design Guidelines and to the extent feasible or allowed by utility providers.
- (2) All utility boxes shall be painted dark green to match Pelican Bay preferred utility box color.
- (3) Street-side meter boxes and backflow prevention devices
 - a. Landscape shall not hinder access to street-side meter boxes or backflow prevention devices and as such, shall not completely surround the equipment
 - i. Landscape shall be installed a minimum of thirty (30") inches on three sides and open in the back with view blocked from the street.

(iv) Generators

- (1) Location shall be in relation to existing household equipment (Pool Heater, Pool Pump, Air Conditioner) on rear or side of the house based on setbacks and accessibility.
- (2) Permanent Backup Generators shall be installed within an enclosed structure to suppress generated noise and to provide a satisfactory degree of acoustical isolation for adjacent occupied spaces by achieving a maximum noise level of seventy (70) decibels. Landscape shall be used to buffer the enclosed structure.
- (3) Detached generator enclosure is prohibited.

- (4) Permanent generators may only be tested 1 time per week for a maximum of 1 hour during the time period of 9 a.m. and 4 p.m.
 - (5) Temporary generators may be installed during power loss caused by a hurricane, storm, or other casualty or emergency event, but must be removed and stored in compliance with local and state rules with reasonable speed after the storm has passed or electricity has been restored.
 - a. Location must be away from any windows, doors, or ventilation openings.
 - b. When the emergency has passed, and power is restored, they shall be stored out of sight.
- (v) Clotheslines
- (1) Exterior clotheslines must be placed in a location on the property where they cannot be seen from the street or any adjacent property.
 - (2) Permanent clothesline structures are prohibited.
- (vi) Solar Panels
- (1) Solar panels, devices and related appurtenances and equipment are an integral part of the Principal Building. Location and placement shall be allowed as required with the following conditions:
 - a. Solar panels shall be placed on roofs in such a manner as to be parallel to roof lines, shall appear to be flush with the roof, located behind the structure, completely concealed from the road, neighboring properties or open spaces (providing location does not impair effective operation of the solar panels),
 - b. Small panels may be laid on top of a sloping roof and finished to look like a skylight.
 - c. Large panels on a flat roof shall be set back and concealed with a parapet unless integrated into the roof design of the structure.
 - d. Solar panels wiring, and other components shall be concealed and must be painted so as to blend with roof surface.
 - e. In the case it is determined that placement of the solar panels is required on the front of the building facing the street for effective operation street, the location and placement must be reviewed with the DRC where the homeowner provides adequate information in support of that determination including:
 - a. A plan, to scale showing the location and orientation of the panels
 - b. The panels must be as close to flat on the roof as possible
 - c. Wiring and components shall be concealed.

- d. For rooftop systems installed on flat roofs a low-profile ballasted array is preferred, provided structural limitations of the roof will allow. If the roof structure will not support a low-profile ballasted system, a penetrating racking system is acceptable.

(vii) Satellite Devices

NOTE: DRC will work with the resident to secure a location on the property from which the best signal will be available and which will not compromise the community *aesthetic* values.

- (1) A satellite device, for purposes of this provision, shall mean
 - a. A “dish” antenna designed to receive direct broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite
 - b. An antenna designed to receive video programming services via broadband radio service (wireless cable) or to receive or transmit fixed wireless signals other than via satellite
 - c. An antenna that is designed to receive local television broadcast signals
- (2) Satellite devices larger than 39.37” in diameter are prohibited.
- (3) In the case it is determined that for an effective operation of the satellite device and appropriate quality signal, placement of the satellite device is required in the front yard facing the street, then the location and placement must be reviewed with the DRC where the homeowner provides adequate information in support of that determination including:
 - a. A plan, to scale showing the location and orientation of the satellite device
 - b. An elevation showing the satellite device to scale in relationship to the building

r. Car Garages

- (i) Detached car garages are prohibited.
- (ii) Car garages are an extension of the Principal Building and are subject to the same design guidelines and standards as the Principal Building.
- (iii) Placement and configuration of car garages should be considered to break-up the building mass facing the street.
 - (1) Garage placement and setback may be varied to break the visual mass of buildings and improve streetscape appearance. Designs that push the living area towards the street and de-emphasize the garage are highly encouraged.
 - (2) Visual dominance of the garage to the front street should be reduced to the extent possible by providing a variety of driveway orientations and types.
 - (3) Garages shall be square or rectangular in plan.

- (4) All elevation sides of the garage structure must be architecturally articulated with trim and fenestration matching the Principal Building.
- (iv) Unless otherwise specified in the Neighborhood Covenants applicable to the property, a single-family Dwelling Unit is required to have a car garage to accommodate no less than 2 but no more than 4 automobiles and as follows:
 - (1) The attached car garage may be composed of up to 2 attached car garages as long as collectively the car garage(s) accommodate no more than 4 automobiles.
 - a. One golf-cart door is allowed in place of one automobile.
 - (2) Single-wide garage doors are preferred (each car location to receive a separate entrance is preferred) but the following is permitted:
 - a. 2-car garage option
 - (1) Two single-wide garage doors (each door opening no more than 10 feet wide); one double-wide garage door (no more than 18 feet wide opening)
 - (2) And the option to add one golf cart door (no more than 7 feet wide opening)
 - b. 3-car garage option
 - (1) One double-wide garage door (no more than 18 feet wide opening), and one single-wide garage door (no more than 10 feet wide)
 - (2) And the option to add one golf cart door (no more than 7 feet wide opening)

(v) Garage Doors

- (1) Material: Painted or stained wood or wood composite
 - a. Garage doors must be paneled or patterned and may incorporate glazing.
- (2) Operation: Swinging garage doors (swinging out from hinges at the jambs), folding (carriage doors), or one-piece garage doors (sled doors, flip up overhead on tracks)

s. Driveways/Walkways

- (i) Driveways and walkways shall be designed to help reduce runoff by maximizing the use of pervious surfaces
 - (1) Reference Impervious Surface Coverage section.
 - (2) When calculating the total impervious surface lot coverage, it is important to include any walkways or patios that may not be part of the proposed driveway.

(ii) Materials

- (1) The portion of the driveway located within the boundary of the homeowner's property may be constructed of permeable paving, concrete pavers, turf stone, brick pavers, decomposed granite, or impressed or pattern concrete.
- (2) Gravel, blacktop, and crushed shell are prohibited.
- (3) Paving materials within parking strips is limited to concrete pavers, brick pavers, or natural stone. Poured concrete is prohibited within parking strips.

t. Mailboxes

- (i) All mailboxes have been designed to provide uniformity of number sizes, color and style. The following standards pertain to mailboxes:
 - (1) Mailbox Type: Pelican Bay Single:
 - a. Aluminum box, zinc chromate primer, Matthews PPG multi-part urethane
 - b. 3" Beaded Post
 - c. 3" Ball Finial
 - d. 3" Naples Bottom Base
 - e. Pelican Scroll
 - f. Red Flag
 - g. Note: Along public roads, newspaper tubes/boxes and driveway reflectors are prohibited;
 - (2) Mailbox Color*:
 - a. Mailboxes shall be black (high gloss black base)
 - b. *May vary with your Neighborhood Association but shall be consistent throughout the neighborhood; check with Neighborhood Architectural Review Committee or your Board.
 - (3) Installation:
 - a. No application needed for routine maintenance however the replacement of entire unit requires Minor Exterior Project form.
 - (4) Address Numbers:
 - a. Mailboxes shall have house addresses on the mailbox. House addresses shall be

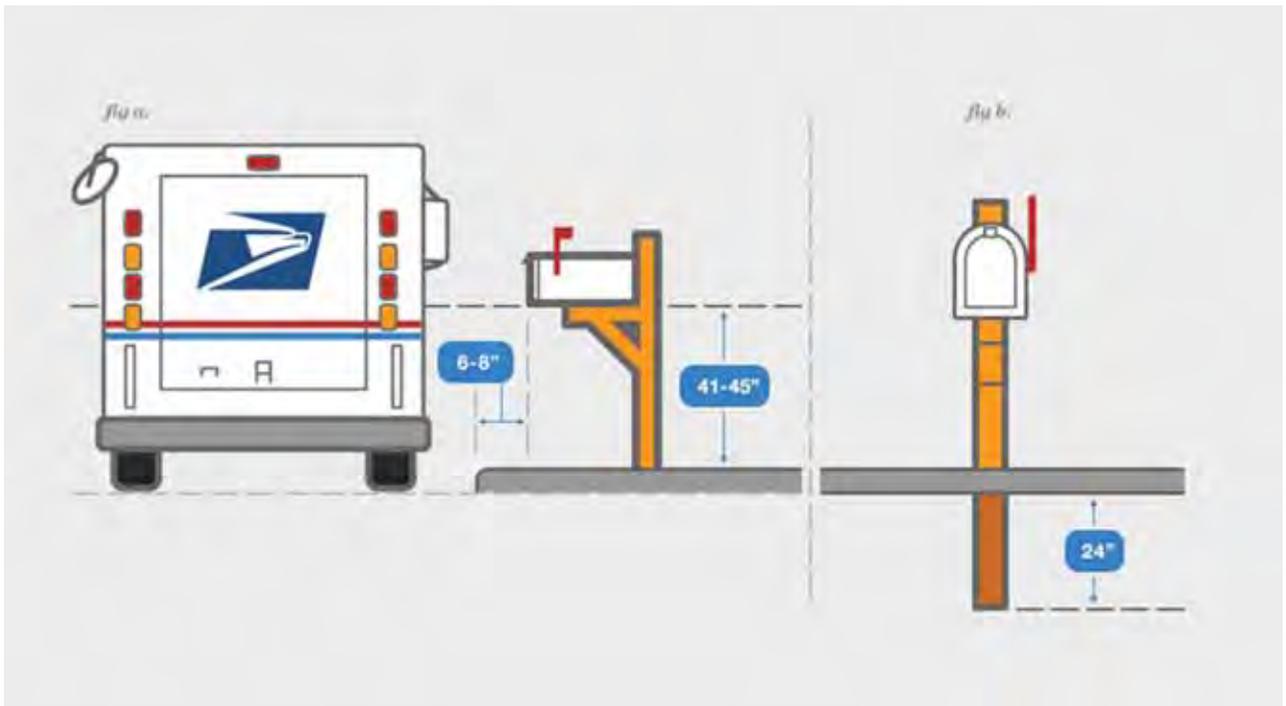
consistent in size (2") and color with house addresses on other mailboxes in the Community.

(5) Location:

- a. Mailbox shall be located so as not to obstruct sidewalks or sight lines in accordance with all regulations.

(6) Landscape Standard:

- a. To comply with the requirements of the US Postal Service, plants are not allowed to extend beyond the front of the mailbox and must not interfere with mail access. Additionally, plants may not infringe on the approach and departure of the mail carrier's vehicle and shall have a maximum height of two feet.



u. Pools, Hot Tubs and Saunas

- (i) Swimming pools, hot tubs and saunas should be treated as extensions of the Principal Building and the landscape plan and shall comply with the same architectural design as the Principal Building and in accordance with these Design Guidelines.
- (ii) Swimming pools shall be located in the rear yard.

(iii) Hot tubs, jacuzzi and saunas

- (1) May be located in the rear or side yard
- (2) Shall be screened from view with landscaping or privacy walls
- (3) Shall be installed so to not create a noise level

(iv) All mechanical equipment associated with swimming pools, hot tubs, jacuzzi and saunas shall not be readily visible from adjacent streets or properties and must be enclosed and screened from view, either with adequate landscaping, within fenced enclosures, behind privacy walls or within enclosed structures attached to the Principal Building in accordance with these Design Guidelines.

(v) Above ground swimming pools, hot tubs and jacuzzi's are prohibited.

(vi) No change shall be made which results in any permanent change in the flow or drainage of surface or subsurface water or which detrimentally affects any adjoining property

v. Lawn Ornaments, Accessories and Decorative Objects

Generally: Owners may not install any external decorative objects exceeding 12" in height and 18" in width or depth, including natural and man-made objects without first receiving the approval of the DRC.

External decorative objects will be considered based on their size, color, scale, appropriateness with the surrounding area and their visual impact on adjoining lots and common areas.

External decorative objects include, but are not limited to, benches, birdbaths, sculptures, fountains, ponds, sundials, small decorative pools, stumps, driftwood, stone, of any type and items attached to structures.

(i) Weathervanes, Birdbaths, Birdhouses, and Bird Feeders

- (1) Weathervanes, birdbaths, birdhouses, and bird feeders may be located in the rear yard.
 - (i) Birdhouse and bird feeders must be less than 1 ft wide by 2 ft high.
 - (ii) Birdbaths must be less than three feet high including the pedestal.
 - (iii) Bird feeder posts maximum height shall be 6 ft above ground.

(ii) Fountains

- (1) Fountains may be located in the rear and side yards.
- (2) Fountains may be located in the front yard, but they must be located in the 50% of the front yard closest to the home.
- (3) Maximum height is 5 ft.

(iii) Sculptures or Ornament

- (1) Sculptures must be located in the rear yard or behind a privacy wall, so as not to be visible from any street or adjacent property.
- (2) Sculptures may be located in the front yard, but all front yard sculptures must be located in a garden bed and located at least 15 ft from any street.
- (3) Rear yard sculptures larger than 36" in any dimension (height, width, or depth) must be behind privacy walls, or adequately screened by landscaping so as not to be visible from any street or adjacent properties.
- (4) Front yard sculptures larger than 36" in any dimension (height, width, or depth) must be behind privacy walls so as not to be visible from any street or adjacent properties.
- (5) No more than two pieces of sculpture are allowed in front yards.

w. Exterior Color Palette

- (i) The color palette for the Pelican Bay community includes muted earth-tone colors and slate grays, which are complemented by contrasting accent, trim and roof colors. This color palette consists of a limited range of related colors. Care must be taken to ensure that colors and materials are integrated into the overall design of the project and to maintain the relationships between main body, accent trim and roof colors.
- (ii) Reference the following pages for available color palettes.
 - (1) Colors may vary in shade from specified colors as long as color saturation is within two to three shades of a specified color.
 - (2) At the request of a property owner, the DRC may consider adding color(s) to the color palette which are not clearly contemplated by the current color palette.
- (iii) Fluorescent colors are prohibited.
 - (1) Fluorescent colors are characterized by bright, glowing and highly saturated colors.
- (iv) The use of white as the primary color of the Principal Dwelling is discouraged. Likewise, the use of pure primary colors on the exterior of the Principal Dwelling is prohibited.
- (v) Exterior Colors
 - (1) The exterior color examples provided in this section are based on Sherwin-Williams paint colors as a basis for design. Main body, accent and trim colors selected shall match the provided palettes with the approval of the DRC.
 - (2) Slight variations in shade from specified color based on manufacturer is acceptable with approval of DRC.
 - (3) Accent colors are restricted to special areas such as front doors, window sashes or special small areas of wall surface.

(vi) All Design Review Request Forms for painting should include:

- (1) Paint color chip samples, manufacturer's color codes or links to the paint manufacturer's website for each color included in the submission. If the paint request is to "match existing colors" (via computer color matching), and a manufacturer's standard color chart paint chip is not available for submission, then owners shall submit photos showing in the same picture, a side by side sample of both existing and requested paint for each color to be used, showing the accuracy of a color match between existing and new paint.
- (2) Pictures of the subject property, with indications for where requested colors will be used.
- (3) Pictures of the two adjoining neighbor's homes and the home located across the street from the subject property.
- (4) If requesting a partial building repaint, then also include pictures of the unaffected sides of the building to demonstrate existing paint is in good repair.

(vii) Roof Colors

- (1) The roof color examples provided here shall be used as a visual tool when selecting the color of the roof materials. Final approval shall be obtained by the DRC. The roof of the Principal Dwelling cannot be exactly the same as the Principal Dwelling on either side of the Principal Building or across the street from the Principal Building.
- (2) Roof colors (brown, grey black or earth tones) may not be pure white, orange, red, blue or any bright or fluorescent colors.

PALETTE #	MAIN BODY	ACCENT TRIM	PALETTE #	MAIN BODY	ACCENT TRIM		
1	 Extra White SW 7006	 Nantucket Dune SW 7597	 Colonade Gray SW 7641	11	 Latte SW 6108	 Alabaster SW 7008	 Navajo White SW 6126
2	 Wool Skin SW 6148	 Greek Villa SW 7551	 Extra White SW 7006	12	 Misty SW 6232	 Greek Villa SW 7551	
3	 Universal Khaki SW 6150	 Summer White SW 7557	 Extra White SW 7006	13	 Rice Grain SW 6155	 Alabaster SW 7008	 Panda White SW 6147
4	 Cupola Yellow SW 7692	 Summer White SW 7557	 Extra White SW 7006	14	 Silvermist SW 7621	 Alabaster SW 7008	 Navajo White SW 6126
5	 Nantucket Dune SW 7527	 Greek Villa SW 7551	 Canoe SW 7784	15	 Tamarind SW 7538	 Greek Villa SW 7551	 Greecian Ivory SW 7541
6	 Morning Sun SW 6672	 Alabaster SW 7008	 Extra White SW 7006	16	 Casa Blanca SW 7571	 Greek Villa SW 7551	 Divine White SW 6105
7	 Colonade Gray SW 7641	 Divine White SW 6105	 Greecian Ivory SW 7541	17	 Cascade Green SW 0066	 Greek Villa SW 7551	 Divine White SW 6105
8	 Coastal Plain SW 6192	 Greek Villa SW 7551	 Greecian Ivory SW 7541	18	 Grassland SW 6185	 Alabaster SW 7008	 Panda White SW 6147
9	 Interesting Aqua SW 6220	 Alabaster SW 7008	 Greecian Ivory SW 7541	19	 Humble Gold SW 6580	 Alabaster SW 7008	 Navajo White SW 6126
10	 Celery SW 6421	 Alabaster SW 7008	 Greecian Ivory SW 7541	20	 Morning Fog SW 6580	 Alabaster SW 7008	 Navajo White SW 6126

PALETTE #	MAIN BODY	ACCENT TRIM	PALETTE #	MAIN BODY	ACCENT TRIM		
21	 Tradewind SW 6214	 Alabaster SW 7008	 Navajo White SW 6126	31	 Prairie Grass SW 7105	 Greek Villa SW 7531	 Divine White SW 6101
22	 Nomadic Desert SW 6114	 Creme SW 7126	 Moderate White SW 6140	32	 Royalist Velvet SW 2835	 Alabaster SW 7008	 Downing Street SW 2815
23	 Lakeide Sand SW 6034	 Jus White SW 7000	 Jolie White SW 6030	33	 Versatile Gray SW 6072	 Greek Villa SW 7531	 Divine White SW 6101
24	 Greek Villa SW 7531	 Sandstone SW 6006	 Nutmeg SW 0088	34	 Windsor White SW 7028	 Greek Villa SW 7531	 Divine White SW 6101
25	 Pure White SW 7000	 Piper Gray SW 6060	 Mink SW 0094	35	 Butter Up SW 2881	 Alabaster SW 7008	 Divine White SW 6101
26	 Accessible Beige SW 7030	 Alabaster SW 7008	 Tony Toppo SW 7058	36	 Gray Lull SW 7041	 Greek Villa SW 7531	 Versatile Gray SW 6072
27	 Ancient Marble SW 6162	 Greek Villa SW 7531	 Divine White SW 6101	37	 Cottage Cream SW 7079	 Greek Villa SW 7531	 Divine White SW 6101
28	 Birdseye Maple SW 3043	 Alabaster SW 7008	 Navajo White SW 6126	38	 Tracy Lane SW 7013	 Greek Villa SW 7531	 Tracy Lane SW 7013
29	 Carron Gray SW 0076	 Greek Villa SW 7531	 Divine White SW 6101	39	 Boys Outlook SW 9016	 Greek Villa SW 7531	 Tracy Lane SW 7013
30	 Elder White SW 7014	 Alabaster SW 7008	 Reposist Gray SW 7021	40	 Compatible Cream	 Alabaster SW 7008	 Tony Toppo SW 7058

PALETTE #

MAIN BODY

ACCENT TRIM

ROOF SHADE
REFERENCE SANTAFE® CLAY ROOF TILE

41



Longwood Blue
SW 6126



Greek Villa
SW 7131



Navajo White
SW 6120



Frost



Red



Coffee



Pewter



Ultra

42



Malted Milk
SW 6057



Alabaster
SW 7008



Panda White
SW 6147



Verde Marino

43



Mountain
SW 6043



Alabaster
SW 7008



Navajo White
SW 6120

Architecturally Themed Cluster Developments (*Place Holder*)

Multi-Family Design Guidelines (*Place Holder*)

Non-Residential Design Guidelines (*Place Holder*)

SECTION ONE - LANDSCAPE STANDARDS

1. BACKGROUND
2. LANDSCAPE DESIGN STANDARDS
3. TREE PROTECTION, AND PRESERVATION
4. TYPICAL LANDSCAPE ZONES
5. IRRIGATION
6. MAINTENACE
7. TOPIARIES
8. SWIMMING POOLS
9. RECOMMENDED PLANT PALETTE

SECTION E. LANDSCAPE STANDARDS

BACKGROUND

The single-family neighborhoods of Pelican Bay have a well-established mature landscape, both in the public spaces as well as private. The most unique feature found in each of the neighborhoods is the mature canopy of shade and flowering trees, with a mixed variety of palms. Many of the neighborhoods are defined by other distinct features such as lake & golf views, decorative paver roads & driveways, signage, lighting, and parks.

The landscape should be carefully designed and detailed to heighten one's sense of nature as well as to promote health of the plant species within Pelican Bay. Per Florida Statute, residents must comply with up to date Florida friendly landscaping guidelines. Detailed information can be found on their website at <http://www.floridayards.org/>.

The level of plantings will depend upon several factors including the individual characteristics of each lot as well as the amount of existing plants on the lot that can be preserved. Landscape plantings must be commensurate with the appearance and style of the dwelling and be consistent with Pelican Bay requirements. Each lot will be evaluated individually during design review process to ensure that adequate plantings exist or will be installed.

Single Family Residential Landscape Design Guidelines

1. LANDSCAPE DESIGN STANDARDS

The principal objective of these Design Guidelines is to ensure that landscape for new Dwelling Units, infill construction, additions and alterations is compatible with the existing established surrounding Neighborhood. The intent is to encourage landscape design which enhances the unique architecture of each home, respects the general character of the street, and immediate site context and emphasizes simple massing of like plants in composition with a balance of trees, palms, green, foliar color and flowering shrubs and ground covers. Landscape plan must be submitted for written approval in accordance with Section 'B' of these Guidelines.

The Pelican Bay Foundation may, in its sole discretion, require additional landscaping on corner lots, lots with unusual site conditions or properties that may significantly impact the golf course. Ideally, residential landscapes should provide a backdrop of native plantings, while incorporating Xeriscape principles to facilitate water conservation. It is the desire of the Pelican Bay Foundation that the landscape reflect the same level of permanence, quality and elegance as the architecture.

The Landscape Architect shall examine the existing side yard landscapes of previously developed adjacent Lots and the proposed landscape design shall be coordinated with such existing landscape. The buffering of views between neighboring homes and from the golf course, street or any adjoining open space corridors shall be addressed in any landscape plans submitted to the Foundation. Open views into windows, patios, and pool areas from beyond the Lot boundaries shall be avoided. The Owner is strongly encouraged to separate all outdoor living areas from adjoining Lots or open space corridors by establishing a vegetative screen with a height minimum of five feet with appropriate plant materials that will achieve 75% opacity within one year after installation. Side lot line hedges are required adjacent to the Home or portion thereof. Any hedge material installed along the rearmost 50 feet of each side lot line may be required to be maintained at a maximum height of 4 feet to preserve views from adjacent lots.

When a Home is located on a golf course, lake, or other Foundation improvement, a continuous separation buffer shall be installed by Owner using all native material. This buffer shall include trees, low shrubs, and ground cover to separate residential grasses from golf course or other grasses. Landscape planting, irrigation, and maintenance responsibility will be to the curb for all Lots and to the edge of water for all lake front Lots.

The elevations of Homes shall have enough landscaping to screen all blank walls and large roof sections. All screening walls or fences shall have associated landscape planting in the form of continuous shrubs and/or vines.

Layered Plant Masses

- a. Shrub and ground covers are to be planted in mass and layered by size from largest (+/- 48") to smallest (+/-6") from the building out and from side property lines in.
- b. Shrub and ground cover masses are encouraged to alternate between green and foliar color and green and flowering in composition in order to highlight the unique characteristics of each plant group and limit visual busyness.

Shade vs Sun Plant Selection

- a. Shade Plantings - Take advantage of preserved or created mature canopy microclimate for shade mass plantings and incorporate tropical green shrubs and ground covers in composition with shade color foliar and flowering plants.
- b. Full Sun Plantings- In full sun areas, incorporate layered masses of green shrubs and ground covers in composition with flowering and color foliar plants.

Balance of Trees and Palms

- a. Palms are encouraged to accentuate and reinforce the architectural character and massing of the primary façade at the primary entry and where vertical features are prominent. Consideration must be given to the right palm for the right place given proximity to the structure, utilities and hardscape areas with smaller palms closer to the building and larger palms out in the landscape.
- b. Trees are encouraged to provide a broad, horizontal canopy form in the landscape to juxtapose the vertical form of the palms with smaller, courtyard scale trees in close proximity to the architecture and hardscape areas and larger shade/canopy trees out in the landscape.

2. TREE PROTECTION AND PRESERVATION

The principle objective of these tree protection and preservation guidelines is to preserve the existing mature shade and flowering trees within the single-family home lots to the greatest extent possible, valuing them as a primary asset of this established community and to preserve the unique character of the existing surrounding Neighborhood.

Guidelines for Tree Protection

Prior to land clearing, all trees that are proposed to be removed shall be marked with red flagging and barricades shall be erected around trees proposed to be protected. All barricades shall remain in place in good condition throughout construction. The movement of equipment or the storage of equipment, material, debris or fill shall not be permitted within the tree's protective barrier. The cleaning of equipment or material or the storage or disposal of waste materials such as paint, oil, solvent, asphalt, concrete or mortar shall not be permitted within the drip line of any tree or group of trees. No damaging attachment wires, signs or permits shall be fastened to any tree.

Barricades shall be constructed with two by four posts and two rails of three-inch-wide, seven-mil thick polyethylene tape of a high visibility color. Elevation changes within the protective perimeter of the tree shall be avoided where possible. Retaining walls and root pruning shall be required to minimize the disturbance of the tree's root structure. Roots shall be severed by clean pruning cuts utilizing root pruning equipment or by hand digging a trench and cutting the roots with a chain saw. Root pruning shall be required to a minimum depth of twelve inches below the depth of disturbance. Root pruning will not be required for utility lines that are installed by tunneling or directional bore through the root zone.

Guidelines for Tree Removal and Replacement

No tree shall be removed without the prior written approval of the Pelican Bay Foundation in accordance with Section 'B' of these Guidelines. To obtain approval to remove, replace or add trees in Pelican Bay, submit drawings, details and photographs to the Director of Covenants prior to starting the project. A written recommendation form a Certified Arborist may be required.

Large dead trees presenting a safety hazard and emergency may require removal before obtaining written approval. The Association will work with property owners in these emergency situations.

Living trees larger than six inches caliper may not be removed from the property without good reason. The removal of larger trees will require the approval of the Pelican Bay Foundation, unless a written assessment by a Certified Arborist is submitted to the Director of Covenants in advance, and that the Director of Covenants concludes that removal is justified.

In some instances, a tree can be removed without replacement if doing so adds benefit to existing trees or surrounding landscape. The Director of Covenants will expect a reasonable explanation for those trees not planned for replacement.

Tree stumps must be ground out to grade and the area restored. All portions of the tree - wood chips, limbs, trunk, leaves, etc. must be removed from the site and disposed of properly.

Replacement/Adding Additional Trees

Plant the tree(s) so that installation and future maintenance can be performed from within the property lines. Encroaching onto a neighbor's property, Pelican Bay common ground, or golf course is prohibited. Keep in mind that the air space at the lot line is owned by that property. Neighboring property owners have the right to trim or remove that portion of the tree or any other landscape materials that extend onto their property.

Trees shall be replaced as follows:

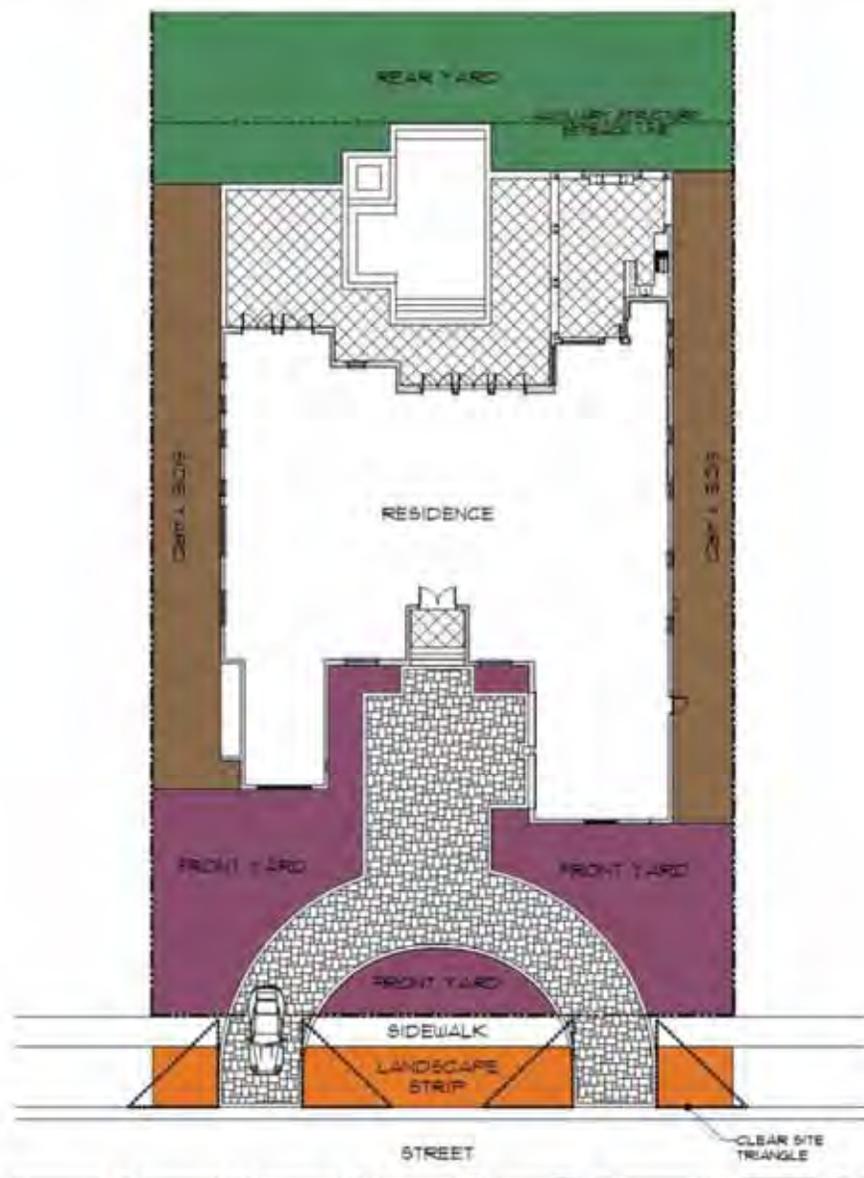
Existing Tree Size	Required Min. Caliper Replacement	Ratio of Replacement Trees to Removed Trees
4" – 15" D.B.H	3"	1:1
16" – 30" D.B.H.	5"	1:1
Over 30" D.B.H	7"	1:1

The required replacement tree or trees shall be of like species or an alternative species approved based upon consideration of the site conditions (e.g., presence of overhead power lines). The replacement tree or trees shall not be less than 12 feet in overall height, three inches in caliper with a minimum four-foot spread. Palms shall be a minimum of 12 feet overall height. Trees or palms shall otherwise meet or exceed the "Florida Department of Agriculture, Grades and Standards for Nursery Stock, Florida Number one Grade," as the same may be amended from time to time. Native trees are encouraged.

3. TYPICAL LANDSCAPE ZONES

The principle objective of defining typical landscape zones is to provide parameters for planting design in various areas of the typical residential site for general design direction to ensure that landscape for new Dwelling Units, infill construction, additions and alterations is compatible with the existing established surrounding Neighborhood. All landscape zone regulations shall be in accordance with the PUD and Collier County Land Development Code (LDC).

Figure 1 – landscape zones plan



Typical Landscape Zones

All landscape zone regulations shall be in accordance with the PUD and the following:

Landscape Strip

- a. The landscape strip adjacent to the street should only be planted with low groundcovers (not to exceed 18"), annuals and/or lawn. Plantings around driveway entrances must not obstruct clear sight triangle views to/from the street for both vehicles and pedestrians.

Front Yard

- a. Provide a 60:40 Ratio of shrubs beds to Turf.
- b. Provide foundation shrubs, 3 gallon minimum.
- c. Provide shrub and ground cover plantings in masses that layer out from the building from larger to smaller. Alternate green plants with color foliar and flowering plants.
- d. Provide palms and/or trees to highlight architectural features such as the entry, two story elements and to soften blank walls while taking into account the lot size, existing trees, etc.
- e. Provide small scale palms and/or trees to provide human scale, enhance the architecture and provide sense of entry.
- f. No shrubs shall exceed 4 feet in height with the exception of hedges which may not exceed 6 feet in height.
- g. Where applicable, use vines attached with wire to enhance blank walls and/or over garage doors, on pergolas, etc.

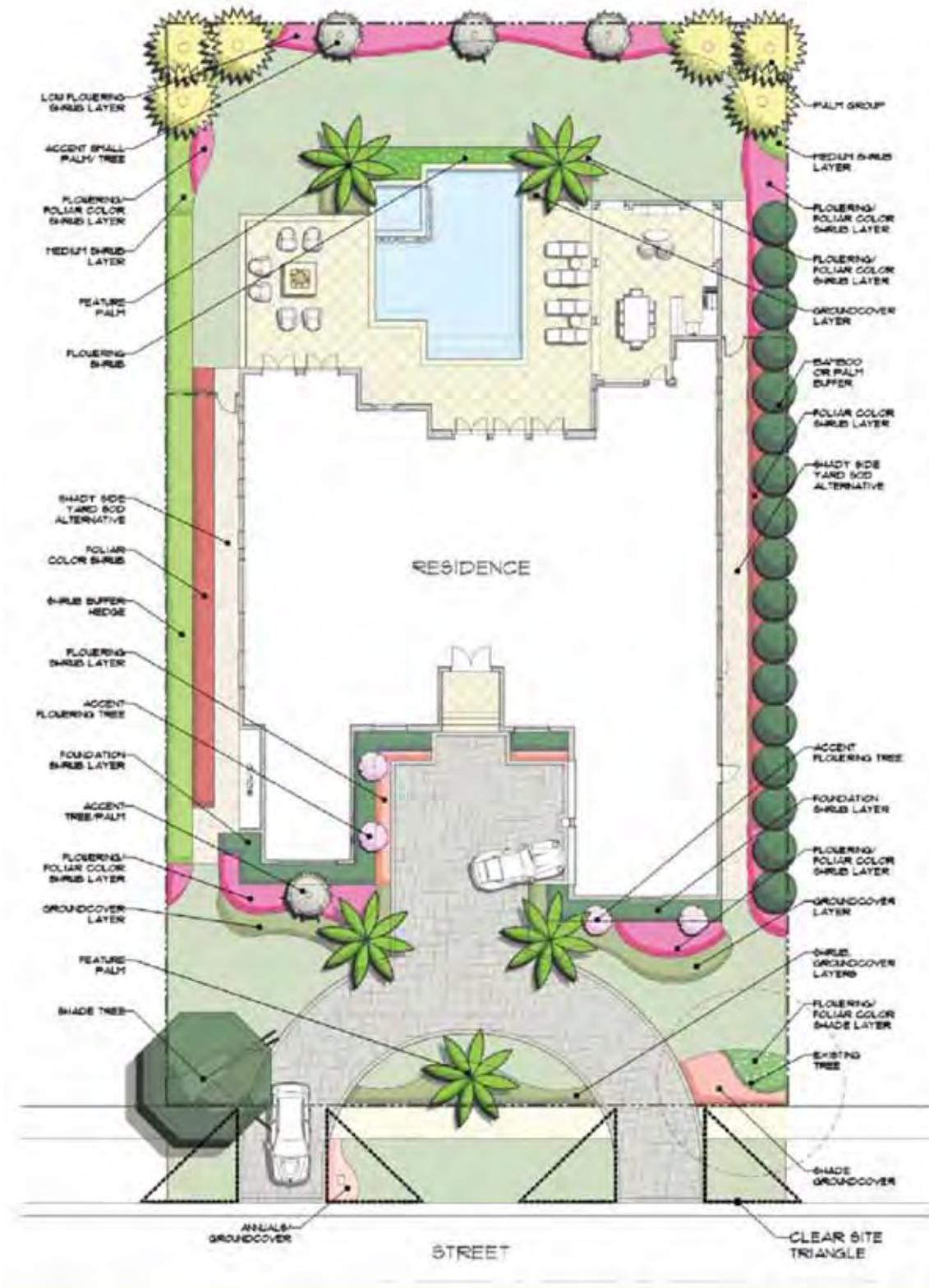
Side Yards

- a. Provide a plant bed to sod ratio of 50:50.
- b. Privacy hedges must be 48" height minimum at time of planting and be maintained no higher than 6 ft height over time.
- c. If first floor privacy is desired, utilize small trees, hedges (6 ft max ht), multi-trunk palms or a combination thereof to provide desired privacy.
- d. If second floor privacy is desired, utilize vertical form trees, solitary palms, clusters of palms, multi-trunk palms or a combination thereof to provide desired privacy.
- e. On lots with side yards that abut road rights of way, utilize hedges (6 ft max ht), trees, solitary palms, clusters of palms, multi-trunk palms, layers of shrubs and ground covers or a combination thereof to provide desired privacy. The face of hedges must be set back a minimum of 6 ft from the ROW line and have shrub and groundcover layers on the street side. Meandering alignment is encouraged.
- f. Due to potential shady conditions in side yards, the use of coquina shell, granite gravel, granite screenings, decorative rock, and/or mulch are acceptable. The use of metal edging to secure and contain these materials is encouraged. These areas must not go beyond the side yard zone and the first 3' in from the property line must contain plantings to visually buffer from adjacent neighbors, rear and street views.
- g. Screening of walls/fences (See section "D", Architectural Standards, Architectural Components)
- h. Screening of trash enclosures (See section "D", Architectural Standards, Architectural Components)
- i. Screening of equipment (See section "D", Architectural Standards, Architectural Components)

Rear Yards

- a. Provide a 40:60 Ratio of shrubs beds to Turf.
- b. Provide palms and/or trees to soften corners of pool enclosures and/or architecture. These trees/palms should complement the character/style of the architecture as well as the front yard landscape, creating a cohesive design.
- c. On lots with rear yard golf course, lake or other amenity area views, shrub and ground cover plantings may not exceed 36" height beyond the rear auxiliary structure setback line.
- d. On lots with rear yard golf course, lake or other amenity area views, trees and palms must have a minimum of 10 ft clear trunk when beyond the rear auxiliary structure setback line.
- e. On lots with rear yards that abut road rights of way, commercial properties or other residential lot rear yards, utilize hedges, trees, solitary palms, clusters of palms, multi- trunk palms, layers of shrubs and ground covers or a combination thereof to provide desired privacy. These buffers have no height restrictions with the exception of those which may be dictated by the presence of utilities such as overhead wires.
- f. If pool and patio area privacy is desired, within the axillary structure setback area, hedges (6 ft max height), small trees, multi-trunk palms or a combination thereof may be utilized to provide the desired privacy.
- g. Provide shrub and ground cover plantings in masses that layer out from the rear of the residence and the pool area from larger to smaller and from the side yards in from larger to smaller. Encourage alternating of green plants with color foliar and flowering plants.
- h. Planting within pool enclosures and/or pool deck areas is encouraged.
- i. Screening of patios and decks (See section "D", Architectural Standards, Architectural Components)
- j. Screening of sculptures (See section "D", Architectural Standards, Architectural Components)

Figure 2 – Planting Plan



4. IRRIGATION

All landscape areas shall be provided with an automatic underground irrigation system. By law, automatic irrigation systems must have a functioning rain sensor or other device to bypass irrigation if adequate moisture is present. Licensed contractors are required by law to install, repair, or replace these control devices if they are not installed and working properly before doing any other work on an irrigation system.

Irrigation must be provided to the back of curb of the adjacent street and to the side and rear lot lines of the Lot. No private wells will be permitted and no use of lake water for irrigation of lots is permitted. All irrigation systems must be of an underground automatic type with time clocks and other related equipment screened from view. Any irrigation water usage on or originating from the Lot shall be in accordance with the current SFWMD, County, or City irrigation restrictions or Florida Friendly Landscape and Waterwise Irrigation Guidelines. Any violation of any applicable requirements shall be the responsibility of the Owner and will be considered a material violation of the Design Guidelines.

5. MAINTENANCE

All Lot landscaping and irrigation systems shall be maintained by the Owner in a manner consistent with the Community Wide Standards of Pelican Bay. Lot landscaping, drainage, and irrigation maintenance responsibility will be to the curb for all Lots and to the edge of water for all lake fronts.

6. TOPIARIES

Pruning trees or shrubs into odd irregular shapes is prohibited except for hedges and individual pieces. All pruning shall be done in accordance with Natural Arborist's Standards. No topping or hat racking of trees is allowed.

7. SWIMMING POOLS

Any swimming pool to be constructed on any Home shall be subject to the requirements of the Foundation (See section "D", Architectural Standards, Architectural Components). Pool dewatering directly into storm drains or water bodies is strictly prohibited.

8. RECOMMENDED PLANT PALETTE

This plant palette though comprehensive is not meant to be all inclusive and has been compiled to provide great design flexibility while maintaining an identifiable character which is compatible with the existing established surrounding Neighborhood while emphasizing current trends and hardy plants. Plants that are not included in this list may be considered for approval by the DRC on a case by case basis.

Plant Palette Standards

All plant palette regulations shall be in accordance with the regulating documents and the following:

- a. General – The intent of this recommended plant palette is to provide a variety of plant material choices to encourage landscape design which enhances the unique architecture of each home, respects the general character of the street, and immediate site context and responds to a variety of

shade and sun microclimates with a balance of trees, palms, green, foliar color and flowering shrubs and ground covers. Plants shall otherwise meet or exceed the "Florida Department of Agriculture, Grades and Standards for Nursery Stock, Florida Number one Grade," as the same may be amended from time to time.

- b. Prohibited Species – The LDC Section 3.05.08, requires the removal and control of prohibited exotic species on most residential and commercial developments. The following list of invasive exotic plant species are strictly prohibited in Pelican Bay:

Acacia auriculiformis	Earleaf Acacia
Araucaria heterophylla	Norfolk Island Pine
Albizia lebbek	Womans Tounge
Casuarina species	Australian Pine
Colubrina asiatica	Leather Leaf
Cupaniopsis anacardiodes	Carrotwood
Dioscorea bulbifera	Air Potato
Lygodium microphyllum	Climbing Fern
Melaleuca species	Punk Tree
Mimosa pigra	Catclaw Mimosa
Rhodomyrtus tomentosus	Downy Rosemyrtle
Schinus terebinthifolius	Brazilian Pepper
Syzygium cumini	Java Plum

For more information on identification and removal of invasive exotic plant species in Collier County, see <https://www.colliercountyfl.gov/home/showdocument?id=67511>

c. Trees

- (i) Canopy Trees - shall not be less than 12 feet in overall height, three inches in caliper with a minimum four-foot spread, Florida No. 1. All trees within 10 ft of hardscape edges to have root barrier installed.
- (ii) Small Accent Trees – shall not be less than 8 feet in overall height, two inches in caliper with a minimum four-foot spread, Florida No. 1.
- (iii) Ornamental Flowering Trees – shall not be less than 5 feet in overall height, Florida No. 1.

d. Palms

- (i) Large, Solitary Palms (ie. Royal Palm) – Minimum 8' clear trunk, Florida No. 1.
- (ii) Group Palms (ie. Cabbage Palm) - Minimum 10' clear trunk, staggered heights (Unless set in soldier course, can be one height), Florida No. 1. Minimum 3 per group
- (iii) Small Scale Palms – Florida No. 1.

e. Tropical Accents

- (i) Tropical Accents – Minimum 7 gallon, 24" height at time of planting, Florida No. 1.

f. Shrubs

- (i) Shrubs – Minimum 3 gallon, 18" height at time of planting, Florida No. 1.
- (ii) Privacy Hedges – Minimum 10 or 15 gallon, 48" height, Florida No. 1.

g. Ground Covers – Minimum 1 gallon, Florida No. 1.

h. Vines

- (i) Vines – Minimum 7 gallon, 6' trellis, Florida No. 1. To be removed from nursery trellis and attached to architecture with silicone sealed/anchored stainless pins and wire armature. Grid or diamond wire patterns are encouraged for detail and interest.

PLANT PALETTE

PELICAN BAY



PLANT PALETTE

SHADE & LARGE FLOWERING TREES

BOTANICAL, COMMON NAME

- BAUHINIA X BLAKEANA, HONG KONG ORCHID
- BULNESIA ARBOREA, VERAWOOD
- BUCIDA BUCERUS, SHADY LADY BLACK OLIVE
- *BURSERA SIMARUBA, GUMBO LIMBO
- CAESALPINIA GRANADILLO, BRIDALVEIL TREE
- CASSIA BAKERIANA, PINK SHOWER TREE
- CHORISIA SPECIOSA, FLOSS SILK TREE
- CALOPHYLLUM BRASILIENSE, BRAZILIAN BEAUTYLEAF
- CHRYSOPHYLLUM OLIVIFORME, SATIN LEAF
- *COCCOLOBA DIVERSIFOLIA, PIGEON PLUM
- *COCCOLOBA UVIFERA, SEAGRAPE TREE
- DELONIX REGIE, ROYAL POINCIANA
- ELAEOCARPUS DECIPIENS, JAPANESE BLUEBERRY
- *ILEX X ATTENUATA 'EAST PALATKA', EAST PALATKA HOLLY
- JACARANDA MIMISOFLIA, JACARANDA
- JUNIPERUS VIRGINIANA SILICICOLA, SOUTHERN RED CEDAR
- *MAGNOLIA GRANDIFLORA, SOUTHERN MAGNOLIA
- PANDANUS UTILIS, SCREW PINE
- *PINUS ELLIOTTII 'DENSE', SOUTH FLORIDA SLASH PINE
- *SWIETENIA MAHOGANI, MAHOGANY
- TABEBUIA CARAIBA, SILVER TRUMPET TREE
- TABEBUIA IMPETIGINOSA, PURPLE TABEBUIA TREE
- TABEBUIA HETEROPHYLLA, PINK TRUMPET TREE
- *TAXODIUM DISTICHUM, BALD CYPRESS
- *QUERCUS VIRGINIANA, LIVE OAK
- *QUERCUS LAURIFOLIA, LAUREL OAK
- FRUIT TREE VARIETIES



SHADY LADY BLACK OLIVE



YELLOW TABEBUIA



OAK CANOPY

* DENOTES FLORIDA NATIVE

PLANT PALETTE

PALM TREES

BOTANICAL, COMMON NAME

- ADONIDIA MERRILLII, CHRISTMAS PALM
- *ACOELORRHAPHE WRIGHTII, PAUROTIS PALM
- BISMARCKIA NOBILIS 'SILVER', BISMARK PALM
- CHAMAEDOREA CATARACTARUM, CAT PALM
- CHAMAEDOREA ELEGANS, PARLOR PALM
- CARYOTA MITIS, FISHTAIL PALM
- CHAMAEROPS HUMILIS, EUROPEAN FAN PALM
- *LEUCOTHRINAX MORRISII, KEYS THATCH
- COCOS NUCIFERA, COCONUT PALM
- COPERNICIA ALBA, CARANDAY PALM
- DYPsis LUTESCENS, ARECA PALM
- DYPsis CABADAE, CABADA PALM
- HOWEA FORSTERIANA, KENTIA PALM
- HYOPHORBE LAGENICAULIS, BOTTLE PALM
- LICUALA GRANDIS, LICUALA PALM
- LIVISTONA CHINENSIS, CHINESE FAN PALM
- PHOENIX CANARIENSIS, CANARY ISLAND DATE PALM
- PHOENIX DACTYLIFERA 'MEDJOOl', MEDJOOl DATE PALM
- PHOENIX SYLVESTRIS, SYLVESTER DATE PALM
- PHOENIX RECLINATA, SENEGAL DATE PALM
- PHOENIX ROEBELII, PYGMY DATE PALM
- PTYCHOSPERMA ELEGANS, ALEXANDER PALM
- RAVENALA MADAGASCARIENSIS, TRAVELERS PALM
- *ROYSTONEA REGIA, FLORIDA ROYAL PALM
- RAPHS EXCELSA, LADY PALM
- *SABAL PALMETTO, CABBAGE PALM
- *THRINAX MORISSII 'SILVER', SILVER THRINAX PALM
- *THRINAX RADIATA, FLORIDA THATCH PALM
- VEITCHIA MONTGOMERYANA, MONTGOMERY PALM
- WODYETIA BIFURCATA, FOXTAIL PALM



PALM CANOPY



BISMARK PALM



SYLVESTER PALM

* DENOTES FLORIDA NATIVE

PLANT PALETTE

TROPICAL ACCENTS

BOTANICAL, COMMON NAME

- AGAVE SPP., SILVER AGAVE
- ALCANTAREA SPP., BROMELIAD VARIETIES
- ALPHINIA ZERUMBET, GINGER VARIETIES
- ALOCASIA ODORA 'CALIFORNIA', ELEPHANT EAR
- ALOCASIA MACROORRHIZA, PORTODORA
- BAMBUSA MULTIPLEX, BAMBOO VARIETIES
- BROMELIAD NEOREGELIA, BROMELIAD VARIETIES
- BROMELIAD AECHMEA, BROMELIAD VARIETIES
- CANNA GENERALIS, CANNA LILY, VARIETIES
- CODIAEUM VARIEGATUM, CROTON VARIETIES
- CORDYLINE TERMINALIS, CORDYLINE VARIETIES
- CRINUM ASIATICUM, GREEN CRINUM LILY
- CYATHEA COOPERI, AUSTRALIAN TREE FERN
- DIOON SPINULOSUM, MEXICAN CYCAD
- DOMBEYA X SEMINOLE, TROPICAL ROSE HYDRANGEA
- GARDENIA JASM. 'MAM SUPREME', GARDENIA
- MONSTERA DELICIOSA, SWISS CHEESE
- PHILODENDRON VARIETIES, SPLIT LEAF, CONGO, ETC.
- SANSEVIERIA SPP., SNAKE PLANT VARIETIES
- STRELITZIA REGINAE, ORANGE BIRD OF PARADISE
- STRELITZIA NICOLAI, WHITE BIRD OF PARADISE
- FURCRAEA FOETIDA 'MEDIOPICTA', VARIEGATED FALSE AGAVE



AUSTRALIAN TREE FERN, GIGANTEUM, BROMELIADS



LICUALA PALM, BROMELIADS, MIXED TROPICALS



GIGANTEUM, BURLE MARX, GINGER

* DENOTES FLORIDA NATIVE

PLANT PALETTE

SMALL ACCENT TREES

BOTANICAL, COMMON NAME

- BRUGMANSIA VERSICOLOR, ANGEL TRUMPET TREE
- CAESALPINIA PULCHERRIMA, DWARF POINCIANA
- CALLISTEMON RIGIDUS, ERECT BOTTLEBRUSH
- *CLUSIA ROSEA, PITCH APPLE
- *CONOCARPUS ERECTUS SERICEUS, SILVER BUTTWOOD
- *CORDIA SEBESTENA, ORANGE GEIGER
- *CORDIA BOISSIERI, WHITE GEIGER
- FILICUM DECIPIENS, JAPANESE FERN TREE
- JATROPHA HASTATA, JATROPHA STANDARD TREE
- LAGERSTROEMIA INDICA 'MUSKOGEE', CRAPE MYRTLE
- LAGERSTROEMIA INDICA 'NATCHEZ', WHITE CRAPE MYRTLE
- LAGERSTROEMIA SPECIOSA, QUEEN CRAPE MYRTLE
- LIGUSTRUM JAPONICUM, WAX PRIVET
- MUSSEANA ERYTHROPHYLLA, MUSSEANDA TREE
- PARKINSONIA ACULEATA, JERUSALEM THORN
- PLUMERIA PUDICA, BRIDAL BOUQUET
- PLUMERIA SPP, FRANGIPANI VARIETIES
- TIBOUCHINA GRANULOSA, PURPLE GLORY TREE



JAPANESE FERN TREE



PURPLE GLORY TREE



MUSSEANDA

* DENOTES FLORIDA NATIVE

PLANT PALETTE

SHRUBS

BOTANICAL, COMMON NAME

SHRUBS (3 GALLON MINIMUM)

- ACALYPHA WILKESIANA, COPPER LEAF VARIETIES
- BEGONIA ODORATA 'ALBA', WHITE ANGEL BEGONIA
- BRASSAIA ARBORICOLA, DWARF SCHEFFLERA
- BRASSAIA ARBORICOLA 'TRINETTE', VAR. ARBORICOLA
- BOUGAINVILLEA VARIETIES
- *CONOCARPUS ERECTUS SERICEUS, SILVER BUTTWOOD
- *CHRYSOBALANUS ICACO 'RED TIP', RED TIP COCOPLUM
- CLERODENDRUM SPECIOSIMEN, RED GLORY BOWER
- *COCCOLOBA UVIFERA, SEAGRAPE
- DURANTA ERECTA 'GOLD MOUND', GOLD MOUND
- GALPHEMIA GRACILIS, THYRALLIS
- FICUS MACROCARPA, GREEN ISLAND FICUS
- HAMELIA PATENS 'COMPACTA', DWARF FIREBUSH
- HIBISCUS SPP., HIBISCUS VARIETIES
- IXORA SPP., IXORA VARIETIES
- JASMINUM MULTIFLORUM, DOWNY JASMINE
- JASMINUM VOLUBILE, WAX JASMINE
- *LEUCOPHYLLUM FRUTESCENS, TEXAS SAGE
- *MUHLENBERGIA CAPILLARIS, MUHLY GRASS
- *MYRCIANTHUS FRAGRANS, SIMPSON'S STOPPER
- NERUM OLEANDER 'ICE PINK', ICE PINK OLEANDER
- *ODONTONEMA STRICTUM, FIRE SPIKE
- *PSYCHOTRIA NERVOSA, WILD COFFEE
- RONDELETIA LEUCOPHYLLA, PANAMA ROSE
- *SERENOA REPENS, SILVER SWA PALMETTO
- THUNBERGIA ERECTA, KING'S MANTLE
- *TRIPSACUM FLORIDANUM, DWF. FAKAHATCHEE GRASS
- VIBURNUM SUSPENSUM, SANDANKWA VIBURNUM
- PHILODENDRON 'XANADU', XANADU PHILODENDRON
- *ZAMA FLORIDANA, COONTIE

SHRUBS-PRIVACY HEDGES (48" HT MINIMUM)

- BRASSAIA ARBORICOLA, DWARF SCHEFFLERA
- CLUSIA GUTTIFERA, SMALL LEAF CLUSIA
- PODOCARPUS MACROPHYLLUS, PODOCARPUS
- VIBURNUM ODORATISSIMUM, SWEET VIBURNUM

* DENOTES FLORIDA NATIVE



ARBORICOLA



HIBISCUS



MUHLY GRASS

PLANT PALETTE

GROUNDCOVERS

BOTANICAL, COMMON NAME

GROUNDCOVERS (1 GALLON MINIMUM)

- ASPARAGUS DENSIFLORUS 'MYERS', FOXTAIL FERN
- ARACHIS GLABRATA, ORNAMENTAL PEANUT
- BULBINE FRUTESCENS 'ORANGÉ', BULBINE
- CARISSA "EMERALD BLANKET", DWARF CARISSA
- DISSOTIS PLUMOSA, TRAILING TIBOUCHINA
- ERNODEA LITTORALIS, GOLDEN CREEPER
- *ILEX VOMITORIA 'SCHILLINGS', DWARF YAUPON HOLLY
- JUNIPERUS CONFERTA, SHORE JUNIPER
- JUNIPERUS CONFERTA 'BLUE PACIFIC', BLUE PACIFIC JUNIPER
- LANTANA CAMARA, LANTANA VARIETIES
- *MIMOSA STRIGILLOSA, POWDERPUFF MIMOSA
- PHILODENDRON 'BURLEMARX', BURLE MARX
- PEPEROMIA OBTUSIFOLIA, BABY RUBBER PLANT
- PILEA MICROPHYLLA, ARTILLERY FERN
- MICROSORUM SCOLOPENDRIUM, WART FERN
- TRACHELOSPERMUM ASIATICUM, ASIAN JASMINE
- TULBAGHIA VIOLACEA, SOCIETY GARLIC



ARTILLERY FERN



ILEX



MIMOSA

* DENOTES FLORIDA NATIVE

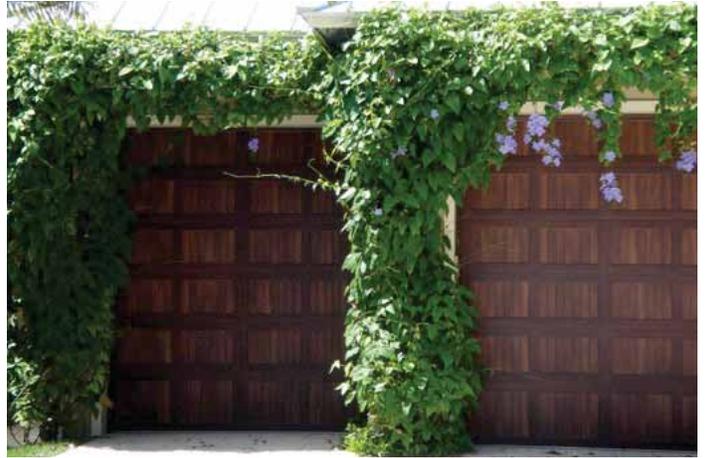
PLANT PALETTE

VINES

BOTANICAL, COMMON NAME

VINES (7 GALLON MINIMUM)

- BOUGAINVILLEA VARIETIES
- CLERODENDRON X SPECIOSUM, DELECTUM VINE
- CLERODENDRUM THOMASONIAE 'BLEEDING HEART'
- CLERODENDRON SPLENDENS, FLAMING GLODY BOWER
- MANDEVILLA, MANDEVILLA VINE
- PYROSTEGIA VENUSTA, MEXICAN FLAME VINE
- FICUS PUMILA, CREEPING FIG VINE
- PANDOREA JASMINOIDES 'ALBA', BOWER VINE
- PETREA VOLUBILIS, QUEEN'S WREATH
- THUNBERGIA GRANDIFLORA, LAVENDER SKY FLOWER
- TRACHELOSPERMUM JASMINOIDES, CONFEDERATE JASMINE



SKY VINE



BOUGAINVILLEA



MEXICAN FLAME VINE

* DENOTES FLORIDA NATIVE

SECTION F - SIGNAGE STANDARDS

1. SIGNAGE STANDARDS
2. SIGNAGE TYPE

SECTION F. SIGNAGE STANDARDS

1. SIGNAGE STANDARDS

“SIGN” means: any outdoor advertising display, billboard, poster, panel, bulletin, banner, pen and flag, placard, or similar item and all printed, painted, lettered, illuminated or figured devices, messages, structures of attention-getting devices used for outdoor advertising or devices intended for such purpose attached to or painted on any permanent or temporary building, structure, vehicle, or any other object, or to the ground by a post, footing, or other manner.

All signage must be approved in writing by the Foundation prior to fabrication or installation using the appropriate Design Review Application. Renderings of signage must be submitted with an application.

All signs must be in compliance with the Pelican Bay Planned Unit Development (PUD) (Section 2, Paragraph 2.16), the Collier County Land Development Code (Chapter 5, Section 5.06.00), Collier County Municipal Code and the Signage Regulations for Pelican Bay.

Copies of all approved local, county or state permits shall be provided to the Foundation as part of the Design Review process.

2. SIGNAGE TYPE

1. Construction Signs
 - a. One sign may be erected and located upon the site under construction. Sign shall be located a minimum of 10 feet from any property line.
 - b. Such sign shall be securely built and with a maximum sign area of 4 square feet and a maximum height of 6 feet.
 - c. The sign must be painted white or beige color (color SW2207). Sign may include a color rendering of the building.
 - d. No contractor, builder, or architect information may be included on this sign.
 - e. All construction signs shall be removed prior to the issuance of a certificate of occupancy for the structure.
2. Monument Signs
 - a. Where permitted, monument signs are limited to a maximum height of 8 feet. Height shall be measured from the lowest centerline grade of the nearest public or private right of way or easement to the uppermost portion of the sign structure.
 - b. Monument signs must measure no more than 169” x 101” in total size (sign face area should be 132” x 86”) with columns and caps no more than 18” x 84”.

- c. Monument signs must be all aluminum structures with stucco finish, color SW 2207. Post caps to be constructed of structural foam with a stucco finish to match sign with white caps. See example attached.
- d. All lettering for signage must be non-illuminated letters and logos and must be flat cut 1/8" aluminum in Duranodic Bronze color. No colors for logos or lettering are permitted.
- e. If address numbers are required on monument signs, it shall be displayed in numerals or at least 8" high on the upper third portion of the sign face and shall not be covered by landscape or other appurtenances.
- f. Location of signs must meet all required set-back requirements.
- g. A landscaping area of no less than 100 square feet shall be provided around the base of the sign.

3. Directory Signs

- a. Directory signs are permitted for shopping centers and office complexes with 25,000 square feet or more of gross leasable floor area and which contains 8 or more independent businesses for single entrances on each public street.
- b. The directory sign must have a minimum of 4 and a maximum of 8 tenant names. Directory signs must use SW2207 for color and all lettering must be in Duranodic Bronze. Directional signs must match existing architectural theme on property.
- c. A landscaping area of no less than 100 square feet shall be provided around the base of the sign.

4. Building Signage and Lettering

- a. All building lettering shall be a minimum of 2 feet and a maximum of 4 feet in height. All lettering must use Durandic Bronze color lettering.
- b. Lettering may be backlit, with white lighting, no neon may be used. Lettering should be fabricated using aluminum revers channel letters.

5. Signage Lighting

- a. Spot or floodlights shall be permitted only where such a spot or floodlight is non-revolving and said light shines only on the owner's premises or signs and away from any right-of-way. The use of accent lighting is prohibited on signs.
- b. Illuminated signs shall not be allowed facing residential uses unless the nonresidential use is separated from the residential use by an arterial or collector road.

6. Directional Signs

- a. All directional signs, parking signs, pole signs and bollards must be in the "verdigris" finish, have a 3" diameter fluted pole with round ball finial. Signage information should be within an 18" x 1" x 1" insert with white background and black lettering. Depending on the location the signs may be single faced or double faced. (See example attached)
- b. Location of all directional signs must be in compliance with all local, county, and state ordinances.

7. Prohibited Signs

The following signs are expressly prohibited:

- a. Abandoned signs (signs for businesses out of operation more than 90 days);
- b. Signs in disrepair or illegible due to lack of maintenance;
- c. Rotating, flashing, animated or activated signs or displays;
- d. Signs in the right-of-way, unless permitted by the Transportation Department or erected by a governmental agency;
- e. Billboards;
- f. Roof signs;
- g. Portable signs, including sandwich boards, sidewalk signs, and signs pulled by trailers;
- h. Snipe signs, made of any material commonly attached to utility poles, trees fences, fence posts, stakes, stick or other object located on public or private property;
- i. Wind signs, including balloons, streamers, banners, pennants, and whirligigs;
- j. Beacon Lights;
- k. Inflatable signs;
- l. Accent lights;
- m. Use of fluorescent signs or colors;
- n. Illuminated signs, neon or otherwise;
- o. Any sign which advertises an activity which is not conducted on the same site as the sign.

8. Flags and Flagpoles

- a. On single-family lots a flagpole should not exceed 22 feet in height above finished grade.
- b. Flagpoles in excess of 15 feet shall have the flagpole foundation or flagpole attachment design/ construction plan signed and sealed by a professional engineer licensed in the State of Florida. The design/construction plan shall indicate the maximum flag area that the flagpole is capable of supporting.

- c. All flagpoles shall have a minimum five-foot setback from all property lines.
- d. All flagpoles that are permitted must display their permit number at the base of the flagpole in, at minimum, ½ inch numerals.
- e. Commercial flags are prohibited. No logos, welcome, open, etc. are permitted. All necessary permits from the County are the responsibility of the owner.

SECTION G - CONSTRUCTION GUIDELINES

1. CONSTRUCTION GUIDELINES

SECTION G. CONSTRUCTION GUIDELINES

The Pelican Bay Foundation has prepared the following guidelines for property owners – whether individual, commercial property owners and/or a Neighborhood Association. The guidelines apply to exterior and interior modifications. Because the guidelines are all-inclusive, not all apply to all projects. It is the responsibility of the property owner to ensure a copy of these guidelines is made available to all contractors and others working on the construction site. Questions about these guidelines should be directed to the Covenants Department (239) 596-8081, ext.237.

1. **Responsibility** - It is the responsibility of the property owner to ensure that all contractor personnel are qualified, properly licensed, and insured. All property owners are also responsible for adhering to design plans approved by the Foundation, notwithstanding acts of contractors, subcontractors, laborers, and material suppliers who are involved in the project. In addition, property owners are responsible for any fees associated with the design review process and for the costs incurred by the Foundation in enforcing the Design Review Guidelines and related governing documents. Any infraction of this policy or of these guidelines may result in penalties/fines, as provided for in the Declaration, the Act, and in the policies of the Foundation. At the discretion of the Foundation, the property owner may be held monetarily accountable for damage to any Foundation common area resulting from the construction on the property owner's property.

2. **Pre-Construction** - Prior to starting construction, whether interior or exterior, the property owner shall contact the Foundation to meet and discuss construction parking – on lot, offsite parking and shuttling workers and materials to the construction site, the dumpster and the port-o-let locations, location of underground utilities, perimeter fencing and gates, and other relevant information. The property owner shall use a line locating service to locate underground utilities prior to trenching or digging on the site.

3. **Construction Site Supervisor**- A construction site supervisor is required for all projects. This Construction Site Supervisor should be present whenever parking or deliveries occur to ensure that vehicles do not limit access and no damage occurs to roads, streets or adjacent properties. The property owner shall assume responsibility for any damage and take steps to immediately correct the damage. A phone number for the owner and Construction Site Supervisor (including an after-hours phone number) is required in the event the Foundation needs to reach someone after hours.

4. **Working Hours**- Working hours within Pelican Bay are 7:00 a.m. to 5:00 p.m., Monday through Saturday. No work or construction activity is permitted on Sunday or on federal holidays. Property owners should ensure contractor personnel do not arrive prior to the approved starting time.

5. **Demolition** – No demolition or lot clearing is permitted until final construction plans have been reviewed and approved in writing by the DRC. No demolition or lot clearing will be permitted until all perimeter fencing and/or gates have been installed. All demolition projects will require the issuance of all governmental permits required, all necessary safety precautions, including flagmen and/or traffic control to avoid any congestion or street blocking from equipment, deliveries or materials. Demolition activities shall not interfere with the free passage of traffic through and around the roads and sidewalk.

6. **Barrier Fence** - All owners shall install a black or green 42" high mesh silt fence at drip-lines of any existing trees or vegetation to be preserved. This fencing should be properly staked at intervals not to exceed fifteen (15) feet and securely fastened with a backing strip. The fencing may be removed when beginning the final exterior landscaping for the construction site.

7. **Safety Fence** – All property owners shall install a fence around exposed pool areas, demolition sites, and those areas in which children could be injured. Fencing for these areas will be of the chain-link type with green opaque material with a minimum height of 6' and installed in such a manner to withstand high wind and shall be child proof.

8. **Perimeter Fence** – Once all final construction plans have been approved by the DRC and construction is ready to begin, property owner shall install a six foot (6') high chain link opaque green mesh fence around the perimeter property line of the construction site. The fence is required for all sites that are to be demolished or on which construction equipment and materials, dumpster and/or a port-o-let are located. The purpose for this fencing is to clearly identify the site limits for construction activity and prevent wind driven construction debris from scattering throughout the Neighborhood. This fence will also limit the view of neighbors from construction activity and the unpleasant view of a construction site and the associated debris that routinely occurs. If any length of the above fencing has to be removed or is damaged, it must be repaired by the end of the day. The above fencing must be installed prior to any construction activity commencing on the site. This fencing must remain in place at all times during the project until a Certificate of Occupancy has been issued or the project is complete, whichever occurs first. Prior Foundation approval in writing is required to remove any portion of the fencing during the construction project.

9. **Construction Trailers** - No construction trailers (office, sales or storage) are permitted without prior written approval of the Foundation.

10. **Dumpsters** - All dumpsters must be screened and positioned on the site behind a 6' high chain-link opaque green mesh fence prior to the start of construction. Dumpsters should not be overfilled and should be emptied without delay when full. Any spillage must be placed in the dumpster immediately. Approval by the applicable Neighborhood Association for placement of dumpsters may also be required.

11. **Landscaping and Irrigation** – Setbacks and adjacent property may be landscaped with trees and sod that are irrigated by sprinkler lines. It will be the property owner's responsibility to protect these trees, sprinkler lines and heads. To avoid potential damage to trees or sprinklers, the owner shall will not allow anyone to park in these areas. Vegetation selected for preservation within an approved building site must be flagged and encircled with protective black or green construction silt fencing installed on four 4" x 4" posts. This fencing must extend beyond the full spread of the tree's branches to reasonably ensure successful protection and extend at least four (4) feet above grade. Excavation in and around protected trees must be done by hand to avoid damage to the roots.

12. Tree Protection - The principle objective of these tree protection and preservation guidelines is to preserve the existing mature shade and flowering trees within the single-family home lots to the greatest extent possible, valuing them as a primary asset of this established community and to preserve the unique character of the existing surrounding Neighborhood. Prior to land clearing, all trees that are proposed to be removed shall be marked with red flagging and barricades shall be erected around trees proposed to be protected. All barricades shall remain in place in good condition throughout construction. The movement of equipment or the storage of equipment, material, debris or fill shall not be permitted within the tree's protective barrier. The cleaning of equipment or material or the storage or disposal of waste materials such as paint, oil, solvent, asphalt, concrete or mortar shall not be permitted within the drip line of any tree or group of trees. No damaging attachment wires, signs or permits shall be fastened to any tree. Barricades shall be constructed with two by four (2' x 4') posts and two (2) rails of three inches (3") wide, seven-mil thick polyethylene tape of a high visibility color. Elevation changes within the protective perimeter of the tree shall be avoided where possible. Retaining walls and root pruning shall be required to minimize the disturbance of the tree's root structure. Roots shall be severed by clean pruning cuts utilizing root pruning equipment or by hand digging a trench and cutting the roots with a chain saw. Root pruning shall be required to a minimum depth of twelve inches below the depth of disturbance. Root pruning will not be required for utility lines that are installed by tunneling or directional bore through the root zone.

13. Tree Removal - No tree shall be removed without the prior written approval of the Foundation. To obtain approval to remove, replace or add trees in Pelican Bay, submit drawings, details and photographs to the Foundation prior to starting the project. A written recommendation from a Certified Arborist may be required. Living trees larger than six inches caliper may not be removed from the property without justification from an Arborist. The removal of larger trees will require the approval of the Foundation. All tree stumps must be ground out to 12" below grade and the area restored with sod or landscape area. All portions of the tree - wood chips, limbs, trunk, leaves, etc. must be removed from the site and disposed of properly.

14. Nuisances - To respect the peace and privacy of residents, contractor personnel may not play music without using headphones, and may not wander around the Neighborhood or the common areas. Fishing in lakes is prohibited and construction traffic is not to exceed the posted speed limit.

15. Parking - The property owner shall provide for parking on the project site. Alternative parking sites may need to be considered and all arrangements for off-site parking must be arranged and approved in advance. Construction activities shall not interfere with the free passage of traffic through and around the roads and sidewalk. Construction traffic must be sensitive to the traffic patterns, speed limits, and the needs of the owners residing in the Neighborhood. There shall be no construction parking in front of already completed residences, on the roads or sidewalks, grass, or any other portion of the common areas. All construction parking shall be on the construction site or at another location not located on the owner's property mutually agreed to by the Foundation. At no time should anyone park on the street in a manner which blocks traffic. Property Owner must provide for a temporary graveled or stabilized area for construction access and parking within the site. The stabilized area shall be located at points where vehicles enter and exit the construction site and the parking location. Upon completion of the project, the property owner shall restore the area to its original condition or better. The purpose of the graveled or stabilized area at the entrance to the project site is to eliminate and reduce tracking or flow of sand, mud, concrete wash or other related material onto the right-of-way.

16. **Construction Damage** - Any damage to streets and curbs, drainage inlets, sidewalks, street lights, street markers, mailboxes, walls, grass, etc., caused by or during construction is the responsibility of property owner and must be immediately repaired by the property owner.

17. **Utilities** - If any telephone, cable television, electrical, water, gas, etc. lines are cut, it is the property owner's responsibility to make arrangements for immediate repairs. Additionally, property owner is required to report the incident immediately to the Foundation Covenants Department 239-596-6180, ext. 237.

18. **Port-O-Lets** - The property owner is responsible to ensure adequate sanitary facilities for contractor personnel. Position port-o-lets behind the 6' high chain-link opaque green mesh fence when required or in areas where it cannot be seen from adjacent property or the roadway. Cleaning trucks are not to be scheduled to clean out the port-o-lets before 8:30 a.m. This will minimize the disturbance to residents. Port-o-lets shall be maintained in a clean, sanitary, and odorless condition.

19. **Signage** – No signs of any kind can be installed on the property owner's construction site without prior written approval of the Foundation. Before any sign fabrication or installation will be permitted, the property owner must submit to the Foundation for approval a rendering of the proposed sign, including specs, materials, size, height, placement, and location. Signs for construction sites must comply with the following:

- a. One (1) sign may be erected and located upon a construction site.
- b. The sign must be painted white (color SW 2207).
- c. The sign may include a color rendering of the structure.
- d. No contractor, builder, or architect information may be included on this sign.
- e. Sign shall be located a minimum of 10 feet from any property line.
- f. Sign shall be securely built with a maximum sign area of four (4) square feet (2' x 2") with a maximum height of six (6) feet.
- g. All construction signs shall be removed prior to the issuance of a certificate of occupancy for the structure.

All signs must be in compliance with the Pelican Bay Planned Unit Development (PUD) (Section 2, Paragraph 2.16), the Collier County Land Development Code (Chapter 5, Section 5.06.00), Collier County Municipal Code and the Signage Regulations for Pelican Bay. Copies of all approved local, county or state permits shall be provided to the Foundation as part of the Design Review process.

20. **Storage of Equipment, Supplies and Materials** - The construction site cannot be utilized as a temporary storage facility for construction equipment, trailers, vans or materials that have no planned immediate use. Materials and supplies delivered to the construction site must be limited to the site under construction. Construction materials are to be stored on-site behind the construction fencing in an orderly manner that will not interfere with pedestrian or roadway traffic. Parking of all construction equipment shall be in an area not seen from the roadway or adjacent properties

21. Requirements During a Weather Emergency - It is the responsibility of the property owner to secure and/or remove the construction materials at the project site at least 48 hours prior to the predicted landfall of a tropical storm or hurricane for any portion of Collier County Florida, as determined by the National Weather Service, National Hurricane Center. All construction materials, including roof tiles, on project sites within Pelican Bay shall be secured and stored onsite in a safe manner or removed so that no material can become a safety hazard with hurricane or tropical storm force winds. Media broadcasts or notices issued by the National Weather Service or National Hurricane Center of an approaching tropical storm or a hurricane is hereby deemed notice to the property owner. By holding a building permit during hurricane season, the property owner shall monitor the National Weather Service and the National Hurricane Center for weather emergencies. A pre-storm inspection shall be required for all active construction sites involving exterior work and/or exterior storage of materials by the property owner. Failure to properly secure a job site will be considered a violation of these guidelines and the property owner will be responsible for any costs associated with securing job sites that have not complied with and /or any costs related to damage caused by not securing the site. The contents of construction site dumpsters must be removed or weighted and secured. Portable toilets shall be secured to the structure, dumpster or emptied and laid horizontal and secured to the ground. During the National Weather Service designated hurricane season, building or roofing materials shall not be loaded on a roof earlier than ten working days prior to the permanent installation of the materials.

22. Project Timing - If an application is approved, work must commence within six (6) months of the later to occur of final Project Approval, or obtaining a building permit. If the approved alterations to the site are not physically commenced within six (6) months, the Project Approval will expire, and the property owner must reinitiate the Project Approval process as per the direction and requirement of the DRC. Any proposed variations from a project as approved hereunder must be submitted in writing to the Covenants Department and approved hereunder prior to implementation. If the Project Approval or any other agreement does not specify a maximum period, construction must be completed within eighteen (18) months of its commencement. If not completed within eighteen (18) months of commencement, or within any extended period granted by the DRC, the property owner and the Plot will be deemed in violation of the Governing Documents and these Guidelines. Consistent with Section 8.04 of the Declaration entitled "Completion of Construction–Remedy," once commenced, the project must be prosecuted diligently and completed as indicated in the approved project timeline.

23. Enforcement - A representative of the DRC or the Covenants Department will conduct periodic field reviews to ensure compliance with approved plans, Design Guidelines including the construction guidelines, and the Governing Documents. Any noncompliance will be considered a violation of the Governing Documents or restrictions affecting the Plot, and the Board or the DRC may exercise all remedies under Florida law and the Governing Documents for violations. Without limiting the generality of the foregoing sentence, the DRC or the Board may immediately require that all work on the property cease and desist until the violation is cured, may remove or remedy the violation, and/or seek injunctive relief requiring the removal or remedying of the violation. In addition, the DRC or the Board may record a notice of violation in the Public Records of Collier County. The DRC will be entitled to recover all costs incurred in enforcing compliance.

SECTION H -APPENDIX

1. APPENDIX A – GLOSSARY OF TERMS
2. APPENDIX B – DESIGN GUIDELINES USER’S CHECKLIST
3. APPENDIX C – PELICAN BAY COMMUNITY PATTERNS

1. Appendix A. Glossary of Terms

An asterisk () denotes term and definition are as defined in Article 1.08.02 – Definitions of the Land Development Code, Collier County, Florida*

Ancillary building – also referred to as an accessory unit, backyard cottage, carriage house unit, garage apartment, or granny flat, an independently accessed secondary residential unit that shares ownership, site, and utilities with the primary Dwelling Unit. It may be within the same structure, such as a basement unit; or attached to the main structure.

Ancillary structure – *see ancillary building*

Balcony – an enclosed private space with a railing on one, two, or three sides which usually projects from the wall of a building, cantilevered or supported by columns or brackets

Building* – any structure having a roof supported by columns or walls designed or built for the support, enclosure, shelter, or protection of persons, animal, chattel, or property of any kind.

Cluster development* – a design technique allowed within residential zoning districts or where residential development is an allowable use. This form of development employs a more compact arrangement of dwelling units by allowing for, or requiring as the case may be, reductions in the standard or typical lot size and yard requirements of the applicable zoning district, in order to: increase common open space; reduce the overall development area; reduce alterations and impacts to natural resources on the site; to preserve additional native vegetation and habitat areas; and, to reduce the cost of providing services, including but not limited to central sewer and water.

Courtyard – an open-to-sky space surrounded by walls or buildings

Deck – open, unroofed porch or platform extending from a Dwelling Unit or other building

Declaration of Protective Covenants and Restrictions for Pelican Bay (Declaration) – Pelican Bay's governing document, which regulates the use, appearance and maintenance of the properties within Pelican Bay

Design Review Committee - TBD

Eave – the lower section of a sloped roof that forms an overhang, consisting of a fascia and soffit

Fenestration – openings in a building envelope, such as windows, doors, skylights, curtain walls, etc., designed to permit the passage of air, light, vehicles, or people

Floor area* - the sum of the gross horizontal areas of the several floors of a building measured from the exterior faces of the exterior walls or from the centerline of common walls separating 2 buildings, excluding attic areas with a headroom of less than 7 feet, enclosed or unenclosed stairs or fire escapes, elevator structures, cooling towers, areas devoted to air conditioning, ventilating or heating or other building machinery and equipment, parking structures, and crawl space where the ceiling is not more than an average of 48 inches above the general finished grade level of the adjacent portion of the lot, except as may be otherwise indicated in relation to particular districts and uses.

Floor area ratio (FAR)* - a means of measurement of the intensity of building development on the site. A floor area ratio is the relationship between the gross floor area on a site and the gross land area. The FAR is calculated by adding together the gross floor areas of all buildings on the site and dividing that figure by the gross land area. Water part of lot is not included in FAR calculation.

Fountain – an ornamental structure in a pool, pond, or garden from which one or more jets of water are pumped into the air

Frontage* - the side of a lot or parcel abutting a street. Where a lot abuts 2 or more streets, frontage is defined as the side of a lot where the main building entrance is located.

Hurricane Watch – inclement weather conditions are predicted within the specified area

The National Hurricane Center defines **Hurricane Watch** as follows: An announcement that sustained winds of 74mph or higher are possible within the specified area in association with a tropical, subtropical, or post-tropical cyclone. Because hurricane preparedness activities become difficult once winds reach tropical storm force, the hurricane watch is issued 48 hours in advance of the anticipate onset of tropical storm force winds.

Impervious Surface Coverage – any surface, such as built flooring, paved driveway or fine-grained soil, which does not permit water to pass except by slow capillary action. Impervious surface coverage calculation is based on land of the lot. Where water body is part of a lot, that portion in the water is excluded from the calculation.

Infill Construction – the use of vacant or underutilized sites within a previously developed area

Living areas of a Dwelling Unit – inhabited, enclosed space

Lot* - a single area or parcel of land established by plat or by metes and bounds.

Lot, corner* - a lot located at the intersection of two or more streets. In the case of corner lots, the front yard with the shorter street frontage shall establish the required minimum lot width. A lot abutting a curved street or streets shall be considered a corner lot if straight lines drawn from the foremost points of the side lot lines to the foremost point of the lot meet at an interior angle of less than 135 degrees.

Lot, interior* - a lot other than a corner lot, with only one frontage on a street.

Lot coverage* - The part or percentage of the lot occupied by principal and accessory buildings and structures.

Lot measurement, width* - Width of a lot shall be considered to be the average distance between straight lines connecting front and rear lot lines at each side of the lot, measured as straight lines between the foremost points of the side lot lines where they intersect with the street line and the points of the side lot lines where they intersect the rear property line. The width between the side lot lines at their foremost points in front shall not be less than 80 percent of the required lot width, except in the case of lots on the turning circle of a cul-de-sac when the 80 percent requirement shall not apply. The minimum lot width on a cul-de-sac shall be figured by drawing a straight line at the chord,

then drawing a straight line parallel to it at the required setback distance for that particular zoning district. That new established line shall meet the minimum lot width of that district.

Neighborhood – a cluster of buildings that are diverse in function but compatible in size and disposition on their lots whose comprehensive planning facilitates a network of pedestrian paths and slower car traffic by providing a variety of routes and uninterrupted streetscapes

Patio – an outdoor paved space that adjoins a residence, and generally is used for dining or recreation; may also refer to a roofless courtyard or a paved area between a residence and the garden

Pervious (also pervious surface or pervious area)* - Material that allows the percolation or absorption of water into the ground including, but not limited to grass, mulch, and crushed stone. Pavers (excluding those specifically designed and constructed to be pervious) and limerock are not considered as pervious surface.

Pitch (slope) – the slope of a roof, commonly expressed in inches of vertical rise per foot of horizontal run

Porch – a covered space that adjoins the entrance of a building, often has a separate roof supported by columns or posts, and is usually enclosed by a railing; can wrap around several sides of a building; usually elevated at least a few steps off the ground

Primary Mass – the largest mass of the Dwelling Unit, contains the front door and has a composed window and door pattern

Principal Building – the main residence or Dwelling Unit

Regulating Documents – See Section C-Regulating Documents on page 16

Screened Roof Balcony Enclosure – a balcony with screens covering all openings such as along the railing and in between the exterior support structures, including the roof

Screened Roof Porch Enclosure – a porch with screens covering all openings such as along the railing and in between the exterior support structures, including the roof

Secondary Mass – smaller mass of the Dwelling Unit that mimics the architectural language of the Primary Mass

Setback or setback line* - a line marking the minimum distance between a right-of-way line, property line, bulkhead line, shoreline, seawall, mean high water mark, access easement line, or other defined location and the beginning point of the buildable area.

Turf block – a large, open porch, usually roofed and partly

Veranda – a large, open porch, usually roofed and partly enclosed, as by a railing, often extending across the front and sides of a Dwelling Unit

Vertical surface – wall

Window box – a box designed to hold soil for growing plants at or on a windowsill

2. Appendix B. Design Guidelines User's Checklist

				YES	NO	NA
SITE DESIGN						
1	Has vegetation removal been minimized?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Does site design minimize storm water runoff?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BUILDING RELATIONSHIPS						
1	Is the pattern of homes in the neighborhood predominantly single-story or two-story?	Single-story	Two-story			<input type="checkbox"/>
	Two houses on the right	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>			
	Two houses on the left	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>			
	Three houses to the rear	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>			
	Three houses directly across the street	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>			
2	Does the building design include stepbacks?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Is there a prevailing distance from the curb to the front of the house in the neighborhood?					<input type="checkbox"/>
	Prevailing setback to front of house (estimated)				_____ Ft	
	Average setback to front of house (estimated)				_____ Ft	
	Proposed front setback				_____ Ft	
NEIGHBORHOOD COMPATIBILITY						
1	Does the building reflect the existing street setback pattern?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Is the garage designed to minimize street presence?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Do window placements respect privacy?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are fence and privacy walls heights minimized?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Does the landscape design protect privacy?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6	Is mechanical equipment screened?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Are noise generators properly buffered?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Are exterior lights compatible with surroundings?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MASSING, FORM AND SCALE						
1	Is building mass divided into smaller parts?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Is roofline broken up?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3	Are exterior wall surfaces articulated?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Are exterior colors and materials compatible with the existing setting?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Appendix C. Pelican Bay Community Patterns

The following illustrative maps and tables provide a summary of current development regulations contained in the PUD and the Neighborhood Covenants for PUD Groups 1, 2, 3 and 4. These tables are not legal documents and are provided here for a quick at-a-glance reference only and are not all inclusive of the regulations contained in the respective documents.

PELICAN BAY ILLUSTRATIVE COMMUNITY PLAN



The following table summarizes the land development designations shown in the PUD to which certain development, lot and building standards and other elements of the intended built environment are applicable.

PUD Group	Main Uses	Character
Residential Group 1	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 3 units per structure 	<ul style="list-style-type: none"> ○ Strictly residential ○ Mix of medium to large residential house types ○ Variable private landscaping ○ Variable themed neighborhoods
Residential Group 2	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Strictly residential ○ Mix of medium to large residential house types ○ Low rise attached residential units ○ Higher density ○ Variable themed clustered neighborhoods ○ Variable landscaping ○ Some gated communities
Residential Group 3	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Low to mid rise ○ Some medium to large residential house types ○ Variable themed clustered neighborhoods ○ Variable landscaping ○ Some gated communities
Residential Group 4	<ul style="list-style-type: none"> ○ Single Family Detached Residential ○ Single Family Attached Residential - up to 6 units per structure ○ Multi-family Units 	<ul style="list-style-type: none"> ○ Low, mid and high rise
Non Residential Golf Course Community & Area Commercial Conservation Area Utility	<ul style="list-style-type: none"> ○ Professional ○ Commercial ○ Retail ○ Communal 	<ul style="list-style-type: none"> ○ Commercial, professional and communal including school and places of worship ○ Predominantly South Florida architectural style

PELICAN BAY MASTER PROTECTIVE COVENANTS - ARCHITECTURAL CONTROLS SUMMARY

Second Amended and Restated Declaration and General Protective Covenants for Pelican Bay	
Review Process	<p>3.03 (a-d) Submittal requirements for plans (to be supported by the review process)</p> <p>Review/approval or rejection may be based upon several subjective building and contextual characteristics</p> <p>⇒ to build upon and expand in the design guidelines</p> <p>Required submittals by Owner to Foundation for approval p[r]ior to any construction:</p> <ul style="list-style-type: none"> (i) A preliminary concept plan (ii) Design Proposals - involves more design information (iii) Construction Plans and Specifications
	<p>3.03 (e) Architectural language control</p> <p>Grounds for rejection/approval of work may be based upon aesthetic grounds and may include:</p> <ul style="list-style-type: none"> (i) the harmony of its exterior design, color and location in relation to, and its effect upon, surrounding structures, vegetation, topography, and the overall community design (ii) the character of the exterior materials (iii) the planned quality of the exterior workmanship (iv) the Foundation's design and construction standards (v) the PUD (vi) or any other material and relevant factors
Architectural / building controls	<p>3.04 Emphasis on Color No specific criteria provided but totally subjective and open to the Foundation's judgement</p>
	<p>3.05 Manufactured structures not allowed w/out written permission of Foundation</p>
	<p>3.06 Landscaping All areas not covered by structures or hardscape to be landscaped or sodded. Requires underground sprinkler system</p>
	<p>3.07 Driveway and Parking Areas Materials to be approved by the Foundation but allowable materials not included</p>
	<p>3.08 Utility lines to be underground only</p>
	<p>3.09 Antennas and flagpoles - limited to only flagpoles; but exceptions permitted if approved by Foundation</p>
	<p>3.10 Temporary structures Conditional upon approval by Foundation</p>
	<p>3.11 Outdoor equipment Must be underground or screened in so as they are not readily visible from streets and adjacent properties</p>
	<p>3.12 Air conditioners Shall be shielded so as they are not readily visible from streets and adjacent properties</p>
	<p>3.13 Solar collectors Conditional upon approval by Foundation</p>
	<p>3.14 Signs Conditional upon approval by Foundation</p>
	<p>3.15 Walls, fences and shutters 6ft off max Materials to be approved by the Foundation but allowable materials not included</p>
	<p>3.16 Lighting Lighting plan to be approved by Foundation</p>
	<p>3.17 Clothes Drying Area (exterior) not allowed unless written approval by Foundation</p>
	<p>3.18 Trucks, Commercial Vehicles, RVs, Mobile Homes, Boats, Campers and Trailers Restrictions apply</p>
	<p>3.19 Pets and Animals Restrictions apply</p>
	<p>3.20 Maintenance of premises Expected by Owner</p>
	<p>3.21 Water Management Areas Developer of the exempt properties are exempt here</p>
<p>3.25 Subdivision and Regulation of Land This is of specific interest with regards to authority of WCI and not needing to go through the Foundation for approval Commercial Use and Business Use: A residential use in essence this does not allow for mixed-use occupancies</p>	
Notes	

PELICAN BAY PUD PERMITTED USES

Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Permitted Principal Uses and Structures								
Single-Family Detached	■	■	■	■				
Attached single-family:								
Up to 3 units per structure	■	■	■	■				
Up to 6 units per structure		■	■	■				
Multi-Family Units		■	■	■				
Garden Apartments		■	■	■				
Parks	■	■	■	■		■		
Playgrounds/Playfields	■	■	■	■		■		
Commonly owned open space	■	■	■	■		■		
Water Management Facilities	■	■	■	■	■	■	■	■
Existing non-commercial plant nursery				■				
Golf Course					■			
Golf Clubhouse					■			
Tennis Courts					■			
Tennis Clubhouses					■			
Transient lodging facilities not to exceed 25 units					■			
Nature trails including boardwalks							■	
Boat trails							■	
Boat docks (non-commercial)							■	
Pedestrian paths and bridges							■	
Beach sun shelters							■	
Marine research laboratory							■	
Recreational clubs (and other recreations/conservation/preservation activities if approved by Director)							■	
Government administration facilities (i.e. Fire Station, library, sheriff's substation, branch courthouse offices, auditorium, etc.)						■		
*See list of Principal Uses in PUD pages 35-37 for Community and Area Commercial						■		
Potable water treatment and distribution facilities								■
Sanitary waste water collection treatment								■
Utility services equipment, storage, maintenance and offices								■

PELICAN BAY PUD PERMITTED USES

Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Lawn or golf course maintenance shops and equipment storage								■
Other maintenance or utility services uses (as approved by Director)								■
Permitted Principal Uses and Structures with Site Plan Approval								
Non-commercial boat launching facilities	■	■	■	■				
Docking area: one per dwelling unit)	■	■	■	■				
Multiple docking areas		■	■	■				
Recreational Clubs	■	■	■	■				
Golf Courses	■	■	■	■				
Practice driving range and other accessory uses related to golf courses	■	■	■	■				
Churches	■	■	■	■				
Schools	■	■	■	■				
Child care centers when accessory to church or school	■							
Child care center		■	■	■				
Governmental administration buildings		■						
Convalescent homes, rest homes, homes for the aged, adult foster homes, children's homes, rehabilitation centers and licensed skilled nursing facilities		■	■	■				
Civic and cultural facilities				■				
Hotels and motels (except where not permitted in other areas of PUD)				■				
Private Pelican Bay clubs				■				
Permitted Accessory Uses and Structures								
Private boat docks	■	■	■	■				
Private garages	■	■	■	■				
Signs	■	■	■	■				
Model Homes (limited to 2 years)	■	■	■	■				
Tents in conjunction with hotels/motels (with conditions)				■				
Pro-shop, practice driving range and other customary accessory uses of golf course, tennis club or other recreational facilities					■			

PELICAN BAY PUD PERMITTED USES

Uses Permitted	Residential Group 1	Residential Group 2	Residential Group 3	Residential Group 4	Golf Course	Community & Area Commercial	Conservation Area	Utility Area
Small commercial establishments including:					■			
gift shops					■			
golf and tennis equipment sales					■			
restaurants					■			
cocktail lounges					■			
Shuffleboard courts					■			
swimming pools					■			
Signs					■			
Maintenance shops and equipment storage					■			
Non-commercial plant nursery					■			
Accessory uses and structures customarily associated with the uses permitted in this district						■	■	■
Signs as permitted in the Zoning Ordinance						■	■	■

PELICAN BAY ILLUSTRATIVE RESIDENTIAL USE PLAN

RESIDENTIAL MAP

- GROUP 1
- GROUP 2
- GROUP 3
- GROUP 4



GROUP 1

PELICAN BAY

General		
Total Area (for Group 1) in Acres	278	
Total Lots	600	
Use		
Single Family Detached Single Family Attached (up to 3 units per structure)		
Lot Regulations		
Minimum Lot Area	10,000 SF	
Minimum Lot Width (FT)	Corner Lot: 95 Ft	
Zero Lot Line Permitted	na	
Minimum Yards (FT)		Exception for architecturally themed clustered buildings
Front yard	30	
Side Yard	7 1/2 (one story) 10 ft (two stories)	
Rear Yard	25 ft or 15 ft + screen enclosure	
Building Regulations		
Minimum Building Floor Area (Sq. Ft.)	One Story: 1000 Two Story: 1,200	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)		
Principal Building	30	
Accessory Building	20	
Parking		
Parking: Off-Street Requirement	1 Parking per dwelling unit (located w/in setback). For other uses, parking shall be per Collier County Ordinance	
Landscaping		
Off-Street Parking Landscaping Requirement	na	

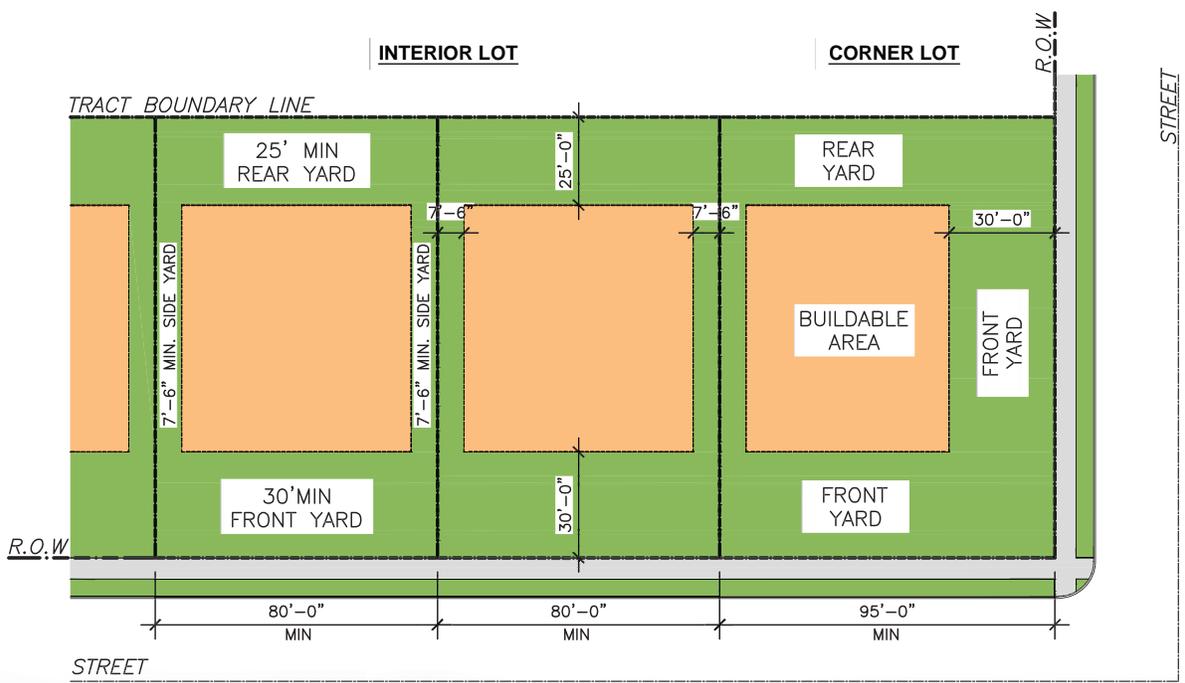
APPENDIX C PELICAN BAY COMMUNITY PATTERNS

GROUP 1

Barrington
 Bay Colony Shores
 Bay colony Strand
 Bay Colony Villa La Palma
 Cambridge

Georgetown
 Jamestown
 Oakmont
 Pelican Bay Woods
 Pinecrest

Pointe Verde
 The Village
 Waterford

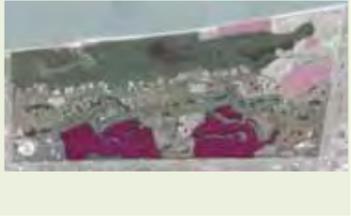


	BARRINGTON	CAMBRIDGE	GEORGETOWN
Review Process	Review i. Landscape/irrigation/grading plans required for review by Declarant ii. No specific review process spelled out other than indication to obtain Declarant approval	Review i. Landscape/irrigation/grading plans required for review by Declarant ii. No specific review process spelled out other than indication to obtain Declarant approval iii. Specific native vegetation protection plan and review process required	Review (Article VII, Section 4: Approvals) i. Construction plans required for review and approval by the Board of Directors (of Georgetown). ii. The Association's review time: 15 days iii. Basis of review: Compatibility and consistency with the other residences (Section 5: Construction) iv. A security deposit is determined by and required to the Association of not to exceed \$2500. The deposit is used for repairs caused by construction to the common areas and/or other properties. If no damage, or owner makes repairs, deposit is returned to owner.
	Article II <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Solar collectors/devices shall not be readily visible from surrounding streets or sites. 5. Garbage collection from the side or rear of any site. 6. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 7. Outside satellite devices not allowed without written approval of Declarant. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be by written approval of Declarant. -No Flat screen enclosures -Screen slope to be compatible with dwelling unit roof slope -Screen enclosure color to be bronze 9. Walls/fences are discouraged but permitted with written approval of Declarant. -Walls/fences prohibited on property line; -a landscape buffer is required between wall/fence and adjacent property; -Wall/Fence prohibited in front yards. -Wall/Fence material and color must be approved by Declarant. -Chain link fencing prohibited. 10. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 11. Carports prohibited 12. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Minimum pitch: 3-1/2:12 (Flat roofs prohibited) 2. Flat or barrel tile 3. Hand sawn or split cedar shakes, slate or copper <u>Landscaping/Irrigation controls:</u> 1. Site landscape, irrigation and grading plan required for review by Declarant 2. Landscape materials encouraged to be native 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant 2. Neutral colors 3. Plain concrete, asphalt and gravel driveways prohibited 4. No driveways of access points on Oakmont Parkway <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article II <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Solar collectors/devices shall not be readily visible from surrounding streets or sites. 5. Garbage collection from the side or rear of any site. 6. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 7. Outside satellite devices not allowed without written approval of Declarant. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be by written approval of Declarant. -No Flat screen enclosures -Screen slope to be compatible with dwelling unit roof slope -Screen enclosure color to be bronze 9. Walls/fences are discouraged but permitted with written approval of Declarant. -Walls/fences prohibited on property line; -a landscape buffer is required between wall/fence and adjacent property; -Wall/Fence prohibited in front yards. -Wall/Fence material and color must be approved by Declarant. -Chain link fencing prohibited. 10. Detached car garages prohibited -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 11. Carports prohibited 12. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Minimum pitch: 3-1/2:12 (Flat roofs prohibited) 2. Flat or barrel tile 3. Hand sawn or split cedar shakes, slate or copper <u>Landscaping/Irrigation controls:</u> 1. Site landscape, irrigation and grading plan required for review by Declarant 2. Landscape materials encouraged to be native 3. Landscape materials to be approved by Declarant 4. Native vegetation protection specifics <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant 2. Neutral colors 3. Plain concrete, asphalt and gravel driveways prohibited 4. No driveways of access points on Oakmont Parkway 5. No more than one driveway access per site <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article VII <u>Building controls:</u> 1. Wall, hedge, fence or shrubbery: 5FT Height maximum 2. No structure, wall, hedge, fence or trees shall obstruct adjoining properties' views of the lakes 3. Satellite/Antenna or other such receptors shall not be visible from the street or adjoining property unless by written approval from the Association 4. RVs/Motor homes/boats/commercial vehicles storage/parking prohibited unless fully enclosed in a structure. 5. Garbage collection from the side or rear of any site. 6. No signs/advertisement allowed without permission. 7. Boats not allowed on any lakes within this neighborhood. Boat slip, dock, decking, pier, rip-rap, seawall prohibited 8. Exterior appliances/equipment that could constitute a nuisance to be enclosed and screened from view. 9. No outdoor drying apparatus. 10. Exterior decorative additions (such as awnings, canopies, fountains, sculptures and similar objects) must be submitted to the Board of Directors for written approval prior to installation. 11. Roof stacks/vents, flashings and metal chimney caps shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color.
Architectural / building controls			
Notes		Similar to Barrington	

	JAMESTOWN	OAKMONT 11	OAKMONT 6
Review Process	<p>Review</p> <p>(6.01 - 6.04)</p> <ol style="list-style-type: none"> Approval required in writing by the Foundation or Architectural Review Board (ARB). The ARB consists of 3 members of the Association. Specifcs in regards to plans submittal including but not limited to: 2 complet sets of plans and specifications. Construction: commencement shall be within 12 months after executin of a purchase contract for a lot; Certificate of Occupancy shall be obtained from Collier County within 12 months after construction commencement. 	<p>Review</p> <ol style="list-style-type: none"> References Section 3.02 of the General Covenants Landscape/irrigation/grading plans required for review by Declarant Specific native vegetation protection plan and review process required 	<p>Review</p> <ol style="list-style-type: none"> References Section 3.02 of the General Covenants Landscape/irrigation/grading plans required for review by Declarant
	Architectural / building controls	<p>Article VI</p> <p><u>Building controls:</u></p> <ol style="list-style-type: none"> No flat screen enclosures unless part of an approved ansard screen enclosure are permitted; screen enclosure shall have a pitch compatible with the pitch of the roof of the dwelling to which it is attached. Wall or fence: no more than 5 ft. above the existing ground level of adjoining property. No wall or fence shall be erected in the front yard of any lot. Wall, fence or enclosure materials to be approved by the Foundation No solar collectors shall be visible from any front street. No exposed structural block, imitation brick or imitation stone face, vinyl or aluminum siding. Detached car garages prohibited <ul style="list-style-type: none"> -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. -Garage doors to be automated with automatic door openers and closers Exterior appliances/equipment to be screened from view from any lot or street. No window air conditioning units shall be installed. <p><u>Use Restrictions (Article VII)</u></p> <ol style="list-style-type: none"> No antennas (or the likes) One free-standing basketball pole, backboard, and hopp per lot shall be permitted in driveway areas only. <p><u>Roofs:</u></p> <ol style="list-style-type: none"> No flat roofs of mansard roofs are permitted on a dwelling. Minimum roof pitch 6:12 (principal dwelling) Roof materials: gorry roof tile, cedar shakes of equal quality Roof elements that face side yards shall slope away from the side yard line. <p><u>Landscaping/Irrigation controls:</u></p> <ol style="list-style-type: none"> All lots shall have underground sprinkler and irrigation system providing 100% lot coverage Site landscape and irrigation plan required for review by the Foundation Each owner shall incur a minimum expenditure of \$20,000 per lot for landscaping (not including irrigation or sodding) <ol style="list-style-type: none"> All lots shall have solid sodded front, side and rear lawns of of Floratam sod or equal. Ea. DU shall have a shrubbery planting in the front and sides, and the initial size of new trees and shrubs planted to be in accordance with the Foundation's standards. All areas not covered by structures, walkways or paved parking shall be maintained as lawn or No stones, gravel or paving of any types shall be used as lawn <p><u>Driveways:</u></p> <ol style="list-style-type: none"> Design and materials to be approved by Declarant Neutral colors Plain concrete and asphalt driveways prohibited Driveway surface shall not be less than 5ft from the side lot line. 	<p>Article II</p> <p><u>Building controls:</u></p> <ol style="list-style-type: none"> Awnings, canopies, shutters prohibited. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. Solar collectors/devices shall not be readily visible from surrounding streets or sites. Garbage collection from the side or rear of any site. Garbage removal permitted from the front yard if side or rear yard removal service is unavailable. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. Outside satellite devices not allowed without written approval of Declarant. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: <ul style="list-style-type: none"> -Must be by written approval of Declarant. -No Flat screen enclosures -Screen slope to be compatible with dwelling unit roof slope -Screen enclosure color to be bronze Walls/fences are discouraged but permitted with written approval of Declarant. <ul style="list-style-type: none"> -5 ft height maximum; -Walls/fences prohibited on property line; -a landscape buffer is required between wall/fence and adjacent property; -Wall/Fence prohibited in front yards. -Wall/Fence material and color must be approved by Declarant. -Chain link fencing prohibited. Detached car garages prohibited. <ul style="list-style-type: none"> -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. Carports prohibited Detached enclosed storage structures prohibited <p><u>Roofs:</u></p> <ol style="list-style-type: none"> Flat roofs and mansard roofs prohibited Major DU Roof Minimum pitch of 6:12; all other prjecting roof forms on front min. pitch of 8:12 Roof elements that face side yards shall slope away from the side yard line and shall be no closer than 5 ft from the side yard setback line No barrel or rounded roof material. Natural wood sawn shingles or flat concrete tile in dark or neutral earth-tone colors shall be permitted. <p><u>Landscaping/Irrigation controls:</u></p> <ol style="list-style-type: none"> Site landscape, irrigation and grading plan required for review by Declarant Landscape materials encouraged to be native Landscape materials to be approved by Declarant <p><u>Neighborhood Driveways:</u></p> <ol style="list-style-type: none"> Design and materials to be approved by Declarant Neutral colors Plain concrete, asphalt and gravel driveways prohibited No driveways of access points on Oakmont Parkway One driveway access point per site <p><u>Lighting</u></p> <ol style="list-style-type: none"> No exterior lighting fitures, structures of improvements wihtout written approval of Declarant
Notes			A lot of similarities with Barrington and Cambridge

	OAKMONT 7	PELICAN BAY WOODS	PINECREST
Review Process	Review 1. References Section 3.02 of the General Covenants 2. Landscape/irrigation/grading plans required for review by Declarant 3. Native vegetation specifics	Review 1. References Section 3.02 of the General Covenants 2. Landscape/irrigation plans required for review by Declarant	Review 1. References Section 3.02 of the General Covenants 2. Landscape plans required for review by Declarant
	Article II <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Solar collectors/devices shall not be readily visible from surrounding streets or sites. 5. Garbage collection from the side or rear of any site. Garbage removal permitted from the front yard if side or rear yard removal service is unavailable. 6. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 7. Outside satellite devices not allowed without written approval of Declarant. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be by written approval of Declarant. -No Flat screen enclosures -Screen slope to be compatible with dwelling unit roof slope -Screen enclosure color to be bronze 9. Walls/fences are discouraged but permitted with written approval of Declarant. -5 ft height maximum; -Walls/fences prohibited on property line; -a landscape buffer is required between wall/fence and adjacent property; -Wall/Fence prohibited in front yards. -Wall/Fence material and color must be approved by Declarant. -Chain link fencing prohibited. 10. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 11. Carports prohibited 12. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Flat roofs and mansard roofs prohibited 2. Major DU Roof Minimum pitch of 6:12; all other projecting roof forms on front min. pitch of 8:12 3. Roof elements that face side yards shall slope away from the side yard line and shall be no closer than 5 ft from the side yard setback line 4. No barrel or rounded roof material. Natural wood split shakes, natural wood sawn shingles or flat concrete tile in dark or neutral earth-tone colors shall be permitted. <u>Landscaping/Irrigation controls:</u> 1. Site landscape, irrigation and grading plan required for review by Declarant 2. Landscape materials encouraged to be native 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant 2. Neutral colors 3. Plain concrete, asphalt and gravel driveways prohibited 4. No driveways of access points on Oakmont Parkway 5. One driveway access point per site <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article II <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Garbage collection from the side or rear of any site. Garbage removal permitted from the front yard if side or rear yard removal service is unavailable. 5. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 6. Outside satellite devices not allowed without written approval of Declarant. 7. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be screened from view of adjoining sites, dwellings units and streets by privacy walls, fences of landscaping at locations approved by Declarant in writing. Must be by written approval of Declarant. -Such enclosures must be compatible in materials and color to the main Dwelling Unit. -Must be approved by Declarant in writing -Enclosures shall be located no closer than 7 1/2 ft to the side site line, and no closer than 15 ft to the rear site line. 9. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 10. Carports prohibited 11. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Flat roofs and mansard roofs prohibited 2. Roof Minimum pitch of 3 1/2:12 3. Flat or barrel tile, hand sawn or split cedar shakes, slate or copper, all as defined by common usage in Collier County <u>Landscaping/Irrigation controls:</u> 1. Site landscape and irrigation plan required for review by Declarant 2. Existing natural foliage to be maintained to the extent possible 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials in accordance with Declarant <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article II <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Docks, piers, decks, boat houses not allowed in on in lakes or ponds without written approval of teh Declarant. 4. Garbage collection from the side or rear of any site. Garbage removal permitted from the front yard if side or rear yard removal service is unavailable. 5. Outside satellite devices not allowed without written approval of Declarant. 6. Roof stacks/vents shall not be readily visible from any street or neighboring properties. 7. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be by written approval of Declarant. -Such enclosures must be compatible in materials and color to the main Dwelling Unit. -Screen slope to be compatible with dwelling unit roof slope -Enclosures shall be located no closer than 7 1/2 ft to the side site line, and no closer than 15 ft to the rear site line. -The location of swimming pools etc. to be approved by Declarant -No swimming pool or enclosure in the front yard of any DU or site. 9. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 10. Carports prohibited 11. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Flat roofs prohibited 2. Roof Minimum pitch of 3 1/2:12 3. Flat or barrel tile, hand sawn or split cedar shakes, slate or copper, all as defined by common usage in Collier County <u>Landscaping/Irrigation controls:</u> 1. Site landscape plan required for review by Declarant 2. Existing natural foliage to be maintained to the extent possible 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant
Architectural / building controls	Similar to Oakmont 11	Similar to Barrington, Cambridge, Oakmont	Similar to Barrington, Cambridge, Oakmont and Pelican Bay Woods
Notes			

	POINTE VERDE	THE VILLAGE	WATERFORD
Review Process	Review 1. References Section 3.02 of the General Covenants 2. Landscape/irrigation/grading plans required for review by Declarant	Review 1. The Association has an Architectural Review Board (ARB); (membership to the Association not required)--(<i>Article VII - 7.01 and 7.02, Amendment</i>) 2. References Section 3.02 of the General Covenants (<i>Article II, Declaration</i>) 2. Landscape/irrigation/grading plans required for review by Declarant	Review 1. References Section 3.02 of the General Covenants 2. Landscape/irrigation/grading plans required for review by Declarant 3. Native vegetation specifics
	Article V <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Solar collectors materials and location to be approved by Declarant. 5. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 6. Outside satellite devices not allowed without written approval of Declarant. 7. Garbage collection from the side or rear of any site. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be by written approval of Declarant. -No Flat screen enclosures unless part of approved mansard screen enclosure and the sloped portions compatible in pitch with main DU. -Screen slope to be compatible with dwelling unit roof slope -Aluminium framing not allowed; structure to material to be compatible with main DU -Screen enclosure color to be bronze. -Must be screened from view of adjoining sites, dwellings units and streets by landscaping, fences, or privacy walls at locations approved by Declarant in writing. Screening shall preserve views to golf course and lakes. 9. Walls/fences are discouraged but permitted with written approval of Declarant. -5 ft height maximum; exception for bathroom privacy walls which may be no more than 6 ft -Walls/fences prohibited on property line; -a landscape buffer is required between wall/fence and adjacent property; -Wall/Fence material and color must be approved by Declarant. -Chain link fencing prohibited. 10. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. -Exception: Site 8, which may accommodate a maximum of 6 automobiles 11. Carports prohibited 12. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Roof Minimum pitch of 5:12 2. Flat or barrel tile, hand sawn or split cedar shakes, slate or copper, all as defined by common usage in Collier County <u>Landscaping/Irrigation controls:</u> 1. Site landscape plan required for review by Declarant 2. Landscape materials encouraged to be native 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant 2. Driveways to continue in full texture or pattern to the street pavement. 3. All driveways to ingress/egress onto a common collector internal roadwail with one access onto Green Tree Drive. <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article II (and Article VIII, Amendment) <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Vents, flashings and metal chimney caps to be painted to match the approved roof color. Roof stacks/vents shall not be readily visible from any street or neighboring properties. 4. Garbage collection from the side or rear of any site. 5. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 6. Outside satellite devices not allowed without written approval of Declarant. 7. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -None in front yard -Must be screened from view of adjoining sites, dwellings units and streets by landscaping or privacy and/or decorative walls. -All privacy and/or decorative walls require written approval of Declarant. -Swimming pool enclosures to be consistent in design, color and materials in accordance with Neighborhood standards and approved in writing by Declarant. -Swimming pool enclosures to be located no less than 30ft from any rear plot line, boundary line or ROW. 9. Detached car garages prohibited. -Each DU to have a garage to accommodate 2 automobiles. 10. Carports prohibited 11. Detached enclosed storage structures prohibited <u>Roofs:</u> 1. Roof Minimum pitch of 3 1/2:12 2. Flat or barrel tile, hand sawn or split cedar shakes, slate or copper, all as defined by common usage in Collier County 3. Flat roofs prohibited <u>Landscaping/Irrigation controls:</u> 1. Master landscape and site amenities plan required for the Neighborhood required. 2. Suitable existing natural vegetation to be preserved and incorporated in master plan 4. Landscape materials to be approved by Declarant 5. Owners required to maintain portion of the neighborhood within the 100 ft landscape buffer <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant <u>Water Management Areas:</u> 1. To be provided in accordance with the PBID requirements <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant	Article VI <u>Building controls:</u> 1. Awnings, canopies, shutters prohibited. 2. Decorative objects such as weathervanes, sculptures, birdbaths, fountains allowed only with written approval of the Declarant. 3. Roof stacks/vents shall not be readily visible from the front of the dwelling unit and shall be painted to match roof color. 4. Solar collectors/devices shall not be readily visible from surrounding streets or sites. 5. Garbage collection from the side or rear of any site. Garbage removal permitted from the front yard if side or rear yard removal service is unavailable. 6. RVs/Motor homes storage/parking prohibited unless fully enclosed in a structure. 7. Outside satellite devices not allowed without written approval of Declarant. 8. Regulations in regards to Spas, Hot Tubs, Swimming Pools, Enclosures, Fences and Walls: -Must be screened from view of adjoining sites, dwellings units and streets by privacy walls, fences of landscaping at locations approved by Declarant. -To be compatible in design, color and materials with DU. -Location to be by written approval from Declarant. 9. Walls/fences are discouraged but permitted with written approval of Declarant. -5 ft height maximum; -Neighborhood perimeter wall maximum 6ft height -Chain link fencing prohibited. -Cannot obstruct views of a lake from an adjoining site 10. Detached car garages prohibited. -Each DU to have a garage to accommodate no less than 2 but no more than 3 automobiles. 11. Carports prohibited 12. Detached enclosed storage structures prohibited 13. No boat docks, slip, decking, pier, rip rap, seawall to any lake bank. <u>Roofs:</u> 1. Roof Minimum pitch of 3 1/2:12 2. Flat or barrel tile, hand sawn or split cedar shakes, slate or copper, all as defined by common usage in Collier County 3. Flat roofs prohibited <u>Landscaping/Irrigation controls:</u> 1. Site landscape, irrigation and grading plan required for review by Declarant 2. Landscape materials encouraged to be native 3. Landscape materials to be approved by Declarant <u>Neighborhood Driveways:</u> 1. Design and materials to be approved by Declarant 2. Plain concrete, asphalt and gravel driveways prohibited <u>Lighting</u> 1. No exterior lighting fixtures, structures of improvements without written approval of Declarant
Architectural / building controls			
Notes	Similar to Barrington, Cambridge, Oakmont and Pelican Bay Woods	-Similar to Barrington, Cambridge, Oakmont, Pelican Bay Woods and Pointe Verde -Setback differences	Similar to Oakmont 11

	GROUP 1	BARRINGTON	CAMBRIDGE	GEORGETOWN	JAMESTOWN
TOTAL LOTS	600	60	3	35	10
KEYMAP					
Use		Single-Family Detached	Single-Family Detached (Gated Community)	Single-Family Detached (Gated Community)	Single-Family Detached
Lot Regulations					
Minimum Lot Area	10,000 SF				
Minimum Lot Width (FT)	Corner Lot: 95 Ft Interior Lot: 80 Ft. (measured at front setback)				
Zero Lot Line Permitted	na				
Minimum Yards (FT)		Setback exceptions apply at specific lots (lakefront lots and lots #20-23, 29, 36-41)	The rear setback line shall be the westerly edge of the 100 FT landscape buffer area.		<u>Lots 2 thru 9:</u> same as PUD <u>Lots 1 and 10:</u> front and rear same as PUD with side yards as follows: <u>Lot 1:</u> Southeast side: 15 ft Northwest side: (1 story): 7 1/2 ft (2 story): 10 ft <u>Lot 10:</u> Southeast side (1 story) : 7 1/2 ft (2 story): 10 ft Northwest side: 15 ft
Front yard	30				
Side Yard	7 1/2 (one story) 10 ft (two stories)				
Rear Yard	25 ft or 15 ft + screen enclosure				
From tract boundary lines, ROW or edge of gutter of private road	na				
Between any 2 principal structures (combined min. yard)	na				
Between any 2 accessory uses (combined min. yard)	na				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	One Story: 1000 Two Story: 1,200	2500 minimum of living area; excluding garages, porches, patios, terrances and others such structures	2000 minimum of living area; excluding garages, porches, patios, terrances and others such structures	2500 minimum living area; 2000 SF is allowed with approval from the Board (Georgetown Board of Directors) excluding garages, porches, patios, terrances and others such structures	3000 minimum living area
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	30				
Accessory Building	20	Detached car garages and free standing storage structures prohibited.		A building not attached to the main building is prohibited. Outdoor storage is prohibited.	Detached car garages and free standing storage structures prohibited.
Parking					
Parking: Off-Street Requirement	1 Parking per dwelling unit (located w/in setback). For other uses, parking shall be per Collier County Ordinance				
Landscaping					
Off-Street Parking Landscaping Requirement	na	No specific landscape criteria other than requiring a landscape/irrigation plan for approval by Declarant. 20 ft wide landscape buffer required along Oakmont Parkway over sites 37 thru 41 in accordance with the Declarant's landscape plans	Native landscaping protection process required. Landscape/irrigation and grading plans and approval required by Declarant	The grounds are to be maintained in keeping with the current attractive standards as set by the residents of Georgetown. [no specifics on what the standards are]	See controls and restrictions
Other					
		-Minimal screening or walls for privacy and mechanical equipment enclosures allowed within side and rear setbacks with written approval of Declarant	-Minimal screening or walls for privacy and mechanical equipment enclosures allowed within side and rear setbacks with written approval of Declarant -No Dwelling Unit, swimming pool or structure shall be erected/located within the 100 FT landscaped buffer	-No existing building or structure shall be moved onto a lot. Pre-fabricated structures are prohibited. -Gated community	-All enclosures (including spa, hot tub and swimming pool enclosures) must be approved in writing. Enclosures shall conform to setbacks for the principal structure. -A gable and roof facing a side yard shall be no closer than 5 feet from the side yard setback line. -No Dwelling Unit, swimming pool or structure shall be erected within portions of lots 1 and 10 located within the 15 FT landscaped buffer -Gated community

	GROUP 1	OAKMONT 11	OAKMONT 6	OAKMONT 7	PELICAN BAY WOODS
TOTAL LOTS	600	30	67	33	118
KEYMAP					
Use		Single-Family Detached	Detached or Attached Single-Family	Single-Family Detached	Single Family Dwelling Units
Lot Regulations					
Minimum Lot Area	10,000 SF				
Minimum Lot Width (FT)	Corner Lot: 95 Ft Interior Lot: 80 Ft. (measured at front setback)				
Zero Lot Line Permitted	na				
Minimum Yards (FT)		Exception for architecturally themed clustered buildings	Exception for Parcel A where required setbacks may be reduced in the case of clustered buildings with a common architectural theme. Spas, Hot tubs, swimming pool enclosures shall not be closer than 7 1/2 ft to the side yard and no closer than 15 ft to the rear yard.	Exception for Parcel A where required setbacks may be reduced in the case of clustered buildings with a common architectural theme. Spas, Hot tubs, swimming pool enclosures shall not be closer than 7 1/2 ft to the side yard and no closer than 15 ft to the rear yard.	Same as PUD with the following exception: 8 FT setback for Site 7, Block A In Pelican Bay Unit One Spas, Hot tubs, swimming pool enclosures shall not be closer than 7 1/2 ft to the side yard and no closer than 15 ft to the rear yard.
Front yard	30				
Side Yard	7 1/2 (one story) 10 ft (two stories)				
Rear Yard	25 ft or 15 ft + screen enclosure				
From tract boundary lines, ROW or edge of gutter of private road	na				
Between any 2 principal structures (combined min. yard)	na				
Between any 2 accessory uses (combined min. yard)	na				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	One Story: 1000 Two Story: 1,200	2000 minimum living area	2000 minimum living area	2000 minimum living area	2000 minimum Living Area
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	30				
Accessory Building	20	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.
Parking					
Parking: Off-Street Requirement	1 Parking per dwelling unit (located w/in setback). For other uses, parking shall be per Collier County Ordinance				
Landscaping					
Off-Street Parking Landscaping Requirement	na	Native landscaping protection process required. Landscape/irrigation and grading plans and approval required by Declarant	Landscape/irrigation and grading plans and approval required by Declarant	Landscape/irrigation and grading plans and approval required by Declarant	Landscape/irrigation and grading plans and approval required by Declarant
Other					
		-Minimal screening or walls for privacy and mechanical equipment enclosures allowed within side and rear setbacks with written approval of Declarant. -No Dwelling Unit, swimming pool or structure shall be erected/located within the 100 FT landscaped buffer (for sites 3, 4, 7 & 8)	-Parcel A may be used for attached or detached single family dwelling units. -Minimal screening or walls for privacy and mechanical equipment enclosures allowed within side and rear setbacks with written approval of Declarant. -No Dwelling Unit, swimming pool or structure shall be erected/located within the 100 FT landscaped buffer.	-Minimal screening or walls for privacy and mechanical equipment enclosures allowed within side and rear setbacks with written approval of Declarant. -No Dwelling Unit, swimming pool or structure shall be erected/located within the 100 FT landscaped buffer.	-Parcel E, Unit Four: Single Family; no more than 16 homesites; may include innovative housing techniques such as "housominiums" and/or common architectural themes. -Parcel D, Unit four: detached single family homesites -Parcels K and L shall be landscaped buffer areas and no ingress or egress permitted through these parcels

	GROUP 1	PINECREST	POINTE VERDE	THE VILLAGE	WATERFORD
TOTAL LOTS	600	83	13	16	23
KEYMAP					
Use		Detached Single Family Dwelling Units	Detached Single Family Dwelling Units (Gated Community)	Single Family Residential Living Units	Detached Single Family Dwelling Unit
Lot Regulations					
Minimum Lot Area	10,000 SF				
Minimum Lot Width (FT)	Corner Lot: 95 Ft Interior Lot: 80 Ft. (measured at front setback)				
Zero Lot Line Permitted	na				
Minimum Yards (FT)		Same as PUD with the following exception: Block D: Site A: 20 ft side yard Site B, southernmost boundary line: 20 ft side yard Spas, Hot tubs, swimming pool enclosures shall not be closer than 7 1/2 ft to the side yard and no closer than 15 ft to the rear yard.	Front yard: 30 FT Side Yard: 15 FT (1 story) and 25 FT (2 story) Rear Yard: 25 FT (rear setback lines on lakefront sites shall be measured from the PBSDE easement) No structures allowed within any easements.	Minimum setback from a ROW line or perimeter boundary: not less than 30 FT	Consistent with PUD with exception: Ref. Exhibit B (Unit 13 plat) at PBIDDE edge: 15FT setback (may be reduced by 5 ft with screen enclosure)
Front yard	30				
Side Yard	7 1/2 (one story) 10 ft (two stories)				
Rear Yard	25 ft or 15 ft + screen enclosure				
From tract boundary lines, ROW or edge of gutter of private road	na				
Between any 2 principal structures (combined min. yard)	na			Minimum distance between any 2 unattached dwelling units, or principal structures shall be not less than 15 ft.	
Between any 2 accessory uses (combined min. yard)	na				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	One Story: 1000 Two Story: 1,200	2000 minimum air-conditioned living area	3000 minimum living area	2000 minimum	2500 minimum of living area
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	30				
Accessory Building	20	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.	Detached car garages and free standing storage structures prohibited.
Parking					
Parking: Off-Street Requirement	1 Parking per dwelling unit (located w/in setback). For other uses, parking shall be per Collier County Ordinance				
Landscaping					
Off-Street Parking Landscaping Requirement	na	Landscape plans required by Declarant	Landscape/irrigation and grading plans and approval required by Declarant	Landscape plans required by Declarant	Landscape/irrigation and grading plans and approval required by Declarant
Other					
		-Pinecrest is made up of 3 almost identical covenants for each of the following sites, all part of Unit Four: -Unit Four Addition -Blocks C & E -Block D	-Gated Community -Minimal screening or walls or enclosures for mechanical equipment allowed within side and rear setbacks with written approval of Declarant.	-No Dwelling Unit or structure shall be erected/located within the 100 FT landscaped buffer. -Significant setback variation	-Reference Setback Exhibits A and B

GROUP 2

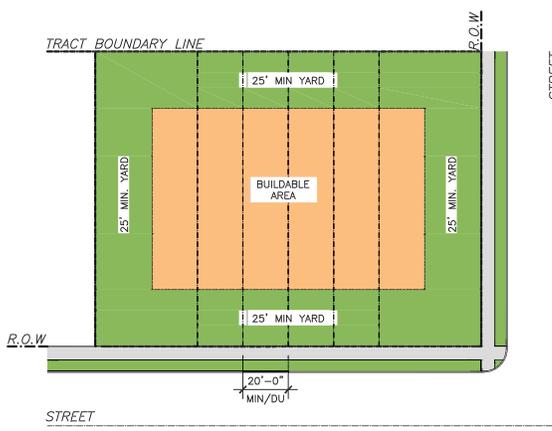
PELICAN BAY

General		
Total Area (for Group 2) in Acres	390	
Total Lots	2314	
Use		
Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family		
Lot Regulations		
Minimum Lot Area	2,600 per dwelling unit	
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.	
Zero Lot Line Permitted	Yes	
Minimum Yards (FT)		
From tract boundary lines, ROW or edge of gutter of private road	25	Exception for architecturally themed clustered buildings
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft	
Between any 2 accessory uses (combined min. yard)	20 FT	
Building Regulations		
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)		
Principal Building	3 STORIES	
Accessory Building	20 FT	
Parking		
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	
Landscaping		
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	

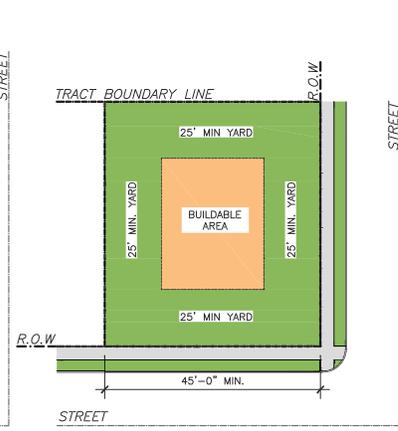
APPENDIX C PELICAN BAY COMMUNITY PATTERNS

GROUP 2

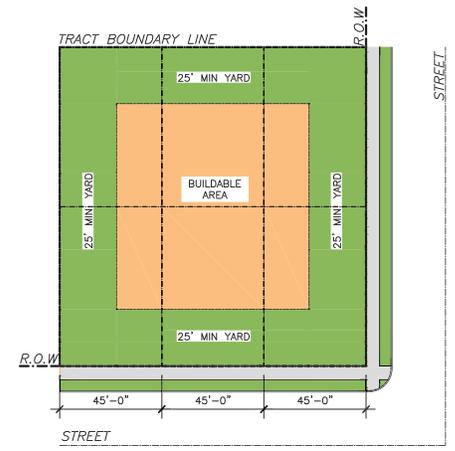
Avalon	Bridge Way Villas	Isle Verde	Pointe of Pelican Bay	St. Simone
Barrington Club	Chanteclair	L'Ambiance	Renaissance	Tierra Mar
Bay Colony Viscayna	Coco Bay	Las Brisas	Saint Andrews	Villa Lantana
Bay Villas	Crescent	Laurel Oaks	Sanctuary	Villas of Pelican Bay
Beauville	Glencove	Lugano	Sand Pointe	Willow Brook
Breakwater	Grand Bay	Oak Lake Sanctuary	Serendipity	



Single-Family Attached (2-6 DUs)



Single-Family Detached



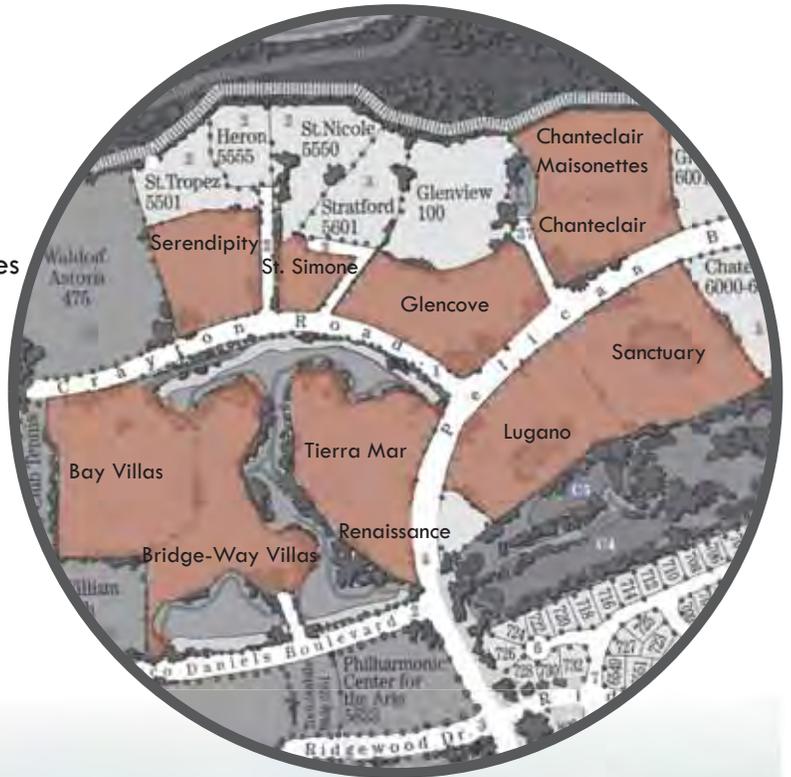
Single-Family Detached (2-6 DUs)



GROUP 2 - AREA A

PELICAN BAY

- Bay Villas
- Bridge-Way Villas
- Chanteclair Maisonettes
- Chanteclair
- Glencove
- Lugano
- Renaissance
- Sanctuary
- Serendipity
- St. Simone
- Tierra Mar



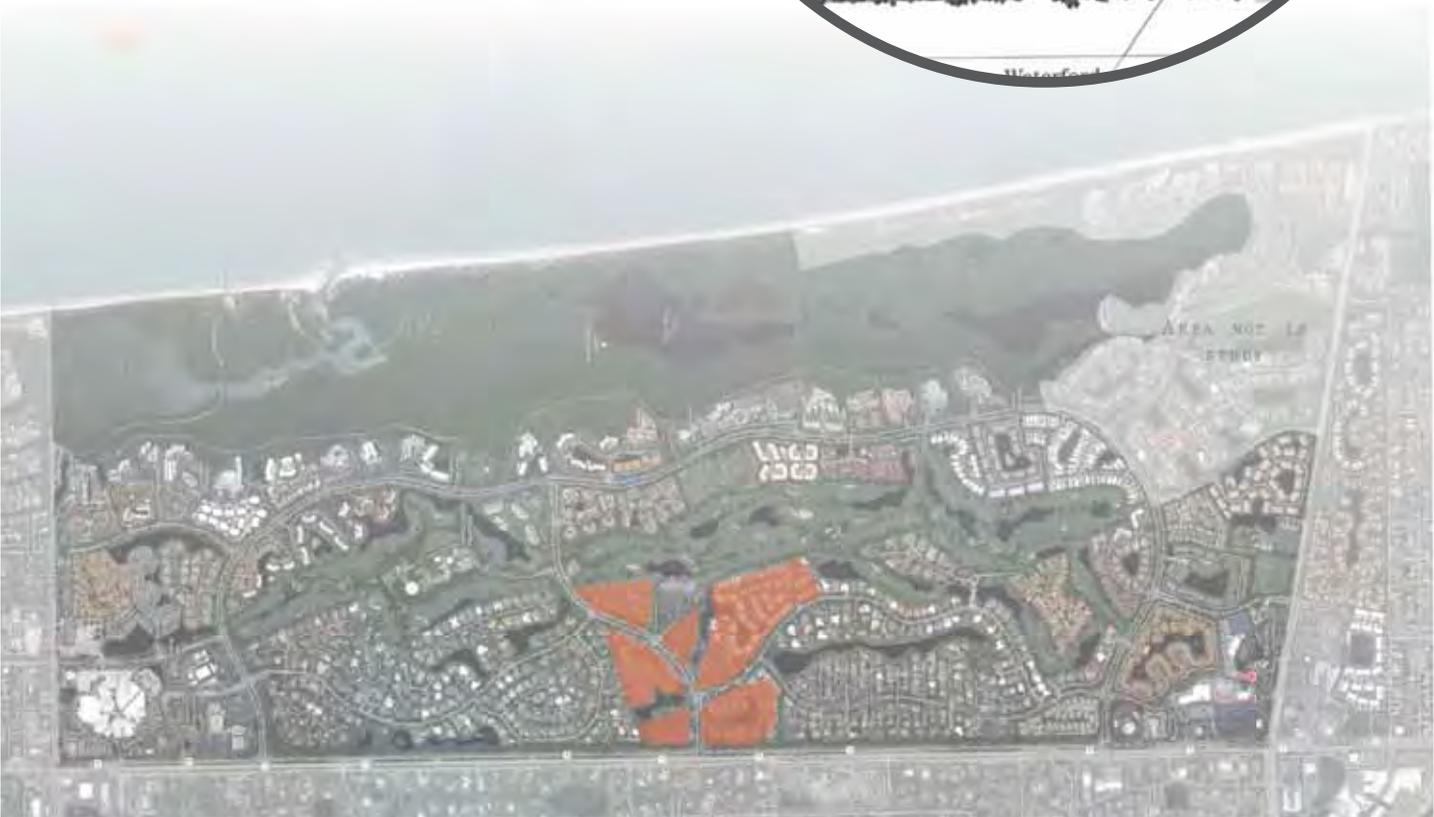
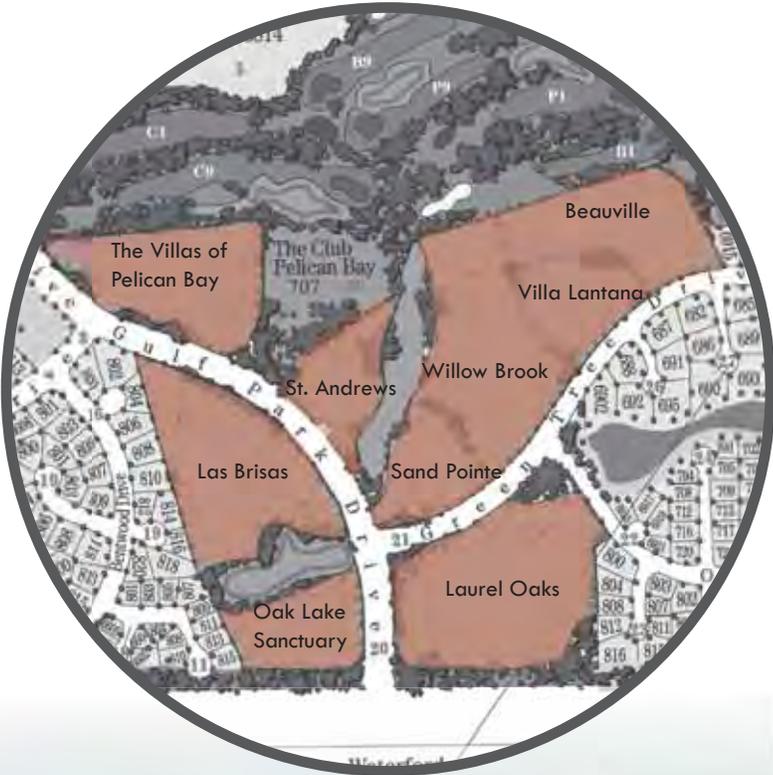
	GROUP 2	Bay Villas	Bridge-Way Villas	Chanteclair Maisonettes	Chanteclair	Glencove	Lugano	Renaissance
TOTAL LOTS/Units	2314	71 DUs	60 DUs	36 two-story garden apartments	19	96	8 DUs in Neighborhood "A"; 77 in "B"	8
KEYMAP								
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Single Family Residential Units	Single Family Residential Units or attached single-family dwelling units in clusters of not more than 2 DUs	Garden Apartments	Attached or Detached Single Family Residential Units	Multi-family residential buildings and dwelling units	Multi-family residential buildings	Multi-family residential building
Lot Regulations								
Minimum Lot Area	2,600 per dwelling unit							
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.							
Zero Lot Line Permitted	Yes		DUs attached to ea other on side plot lines in groups of not more than 2					
Minimum Yards (FT)								
From tract boundary lines, ROW or edge of gutter of private road	25	Exception for architecturally themed clustered buildings	Minimum setback from road 10 FT		From Pelican Bay Blvd: not less than 50 FT From N and W boundary lines of neighborhood: not less than 10FT From access rd at south boundary line of neighborhood: not less than 40FT	From Pelican Bay Blvd: 50 FT From all other parcel boundaries in the neighborhood: not less than the ht of the structure, but not less than 50 FT, whichever is greater	And 35 FT from Pelican Bay Blvd.	
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft		Not less than 7 1/2 FT	And not less than 30 FT	Not less than 10 FT	1/2 the sum of their heights but not less than 50 Ft		
Between any 2 accessory uses (combined min. yard)	20 FT							
Building Regulations								
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	1450	1600	1200	1500	1000	1400 (Neighborhood A) 1100 (Neighborhood B)	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)								
Principal Building	3 STORIES	One Story	30 FT AFF	Max. 2 stories		Max 3 stories	Max 3 stories	
Accessory Building	20 FT							
Parking								
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	2 spaces per DU		1.5 parking spaces per DU; at least one covered parking space per DU		1.5 parking spaces per DU; at least one covered parking space per DU	2 Parkings spaces per DU	
Landscaping								
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	~50FT landscape buffer along Seagate Drive						
Other		*Tennis Facility *Party Walls	Party Walls		Party Walls		*Party Walls	
Architectural Controls								
	PUD Article 3.03	*Similar to single family controls *Association's Architectural Review Board *Easement for maintenance and for egress/ingress	*Similar to single family controls *Association's Architectural Review Board *Easement for maintenance and for egress/ingress *Party Walls	Similar to single family controls and also include: -Balconies -Floor coverings in DU interiors -No swimming pools other than in the common area per neighborhood site plan	*Association's Architectural Review Board	Similar to single family controls and also include: -Specific criteria to each unit's exteriors and interiors with regards to maintenance imposed by developer.	*Association's Architectural Review Board *One entrance to Neighborhood A from Pelican Bay Blvd. and 2 entrances to "B" from Pelican Bay Blvd.	None included
NOTES/REMARKS			*Cluster Development -Conflicting info regards Car Garages: article 8.06 DeclarationBRIDGEWAYOR998PG1926Dec 15 1982.pdf AND article II item 5 DeclarationBRIDGEWAYParcelCUnit1OR972 PG395May 24 1982.pdf	*Cluster Development *Developer Site Plan Specific	*Cluster Development ⇒ 1986 Declaration does not match with what's built → this Declaration is very similar to typical single-family res. Devts. It seems that the project was built as a clustered development. ⇒ 1987 Declaration: developer's declaration. Does not address architectural controls ⇒ "DeclarationCHANTECLAIR I AmendmentOR1443PG1786May 25 1989.pdf" → is this for Chanteclair? → how did it get to have a 150 ft ht? and reduction of sf to 750 per DU?	*Cluster Development Specific rules and regulations with regards to maintenance. Developer's rules and regulations extensive with regards to maintenance, out and inside ea DU	*Cluster Development	Condominium Association

	GROUP 2	Sanctuary	Serendipity	St. Simone	Tierra Mar
TOTAL LOTS/Units	2314	72	66	118	
KEYMAP					
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Multi-family residential buildings	Multi-family residential dwelling units	Multi-family residential buildings	Detached or attached single family dwelling units
Lot Regulations					
Minimum Lot Area	2,600 per dwelling unit				
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.				
Zero Lot Line Permitted	Yes				
Minimum Yards (FT)					
From tract boundary lines, ROW or edge of gutter of private road	25	25 or one-half the height of the structure, whichever is greater provided that min setback from Pelican Bay Blvd shall be 35 FT	Not less than 35 FT	50ft	Front Plot line: 20 FT Side Plot line between unattached structures: 10 FT Rear Plot line: 15 FT Water Management Areas: 15 FT Common Areas: 10 FT Pelican Bay Blvd ROW: 30 FT
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft	1/2 the sum of their heights but not less than 50 Ft	Not less than 15 FT	1/2 the sum of their heights but not less than 50 Ft	Not less than 20 FT
Between any 2 accessory uses (combined min. yard)	20 FT				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	1400	1300	1100	One Story DU: 1500 SF Two Story DU: 2250 SF
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	3 STORIES	3 Stories max	35 FT Max	200 FT	30 FT Max.
Accessory Building	20 FT				
Parking					
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	2 Pkg spaces per DU	1.5 parking spaces per DU.	1.5 parking spaces per DU.	
Landscaping					
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance			Landscape buffer strip required along the length of Crayton Road excepting the entranceways	15 FT landscape buffer strip abutting Pelican Bay Blvd.
Other					Party Walls
Architectural Controls					
	PUD Article 3.03		Covered Parking structures to be provided with min one space per DU	One entrance permitted from Crayton Road.	Similar to single family controls and also include: -Roof pitch: min. 2 1/2: 12 with specific material called out.
NOTES/REMARKS					
		*Cluster Development *Site plan specific	*Cluster Development	Verify which PUD group this belongs with? Its ht limit is more in line w/ Group 4. However, the built form seems in compliance with PUD Group 2 The restated declaration (2005) does not include original controls from 1980 declaration. Site plan specific	*Cluster Development *Site plan specific

GROUP 2 - AREA B

PELICAN BAY

- Beauville
- Las Brisas
- Laurel Oaks
- Oak Lake Sanctuary
- St. Andrews
- Sand Pointe
- The Villas of Pelican Bay
- Villa Lantana
- Willow Brook



	GROUP 2	Beauville	Las Brisas	Laurel Oaks	Oak Sanctuary	Sand Pointe	St. Andrews
TOTAL LOTS	2314	48	Missing documents for this one	160	22 (changed from 24)	21	
KEYMAP							
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Detached single-family residential Dwelling Units or attached single-family Dwelling Units in clusters of not more than 4 DUs.		Multi-family Residential	Single Family	Single Family	Single Family Residential living units
Lot Regulations							
Minimum Lot Area	2,600 per dwelling unit						
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.						
Zero Lot Line Permitted	Yes						
Minimum Yards (FT)							
From tract boundary lines, ROW or edge of gutter of private road	25	Exception for architecturally themed clustered buildings *25FT from parcel line, ROW or prmr bndry *13.5FT from Green Tree Drive for privacy walls *32.5FT from Green Tree for Bldg ftprnt *15FT from any street, road, swale or gutter *Min. Setback for DU's that abut The Club at Pelican Bay golf course not less than 20FT			Per site plan	*15ft from ROW or edge of gutter of private rd *25ft from parcel line or perimeter boundary *50ft from Gulf Park Drive	
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft		10 FT				7 1/2 ft
Between any 2 accessory uses (combined min. yard)	20 FT						
Building Regulations							
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	1150		1000	1200	1600	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)							
Principal Building	3 STORIES	35FT			2 Stories	30 FT	
Accessory Building	20 FT						
Parking							
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance			1 1/2 pkg spaces per dwelling unit. At least one covered parking space per DU	2 pkg spaces per dwelling unit. At least one covered parking space per DU	*No detached car garage *2 car garage per DU	
Landscaping							
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance			15ft landscape buffer from edge of ROW along Gree Tree Drive, Gulf Park Drive, Oakmont Parkway and Oakmont neighborhood	15ft buffer required from ROW along Gulf Park Drive and from the Village		
Other							
		Party Walls		No structure within 100ft landscaped buffer	No structure within 100ft landscaped buffer	Swimming pools setbacks 4ft and 6ft and require privacy screens	Side line easements
Architectural Controls							
	PUD Article 3.03	*Tempered glass required in windows adjacent to golf course *Similar to single family controls *Roof Pitch 2 1/2:12 *Association's Architectural Review Board *Easement for maintenance and for egress/ingress		*Windows, doors, railings and screens to be included in the perimeter walls of a unit. *Similar to single family controls *No swimming pool other than in commons	*Hurricane shutters required *Similar to single family controls	*Similar to single family controls	*Similar to single family controls
NOTES/REMARKS							
		*Cluster Development *Site plan specific		*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development	

	GROUP 2	The Villas of Pelican Bay	Villa Lantana	Willow Brook
TOTAL LOTS	2314	48	70	112
KEYMAP				
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Single Family Dwelling Units attached in groups of not more than 6 units	Single-family residential Dwelling Units or attached single-family DU's in clusters of not more than 4 DU's	Multi-family residential building and DU's
Lot Regulations				
Minimum Lot Area	2,600 per dwelling unit			
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.			
Zero Lot Line Permitted	Yes			
Minimum Yards (FT)				
From tract boundary lines, ROW or edge of gutter of private road	25		*25FT from parcel line, ROW or perimeter bndry *15FT from any street, road, swale or gutter *Setbacks per Collier County *DU's may be attached to ea. Other along the side Plot lines in groups of note more than 4. * 25FT up to 50FT along golf course	15ft from street, road, swale or gutter
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft		Unattached Maisonette and Villa type: 10 FT	
Between any 2 accessory uses (combined min. yard)	20 FT			
Building Regulations				
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	1300	Villa: 1500 Maisonette: 2000	1500
Maximum Building Height (Ft. Abv. Fin. Lot Grade)				
Principal Building	3 STORIES		35FT	
Accessory Building	20 FT			
Parking				
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	2 pkg spaces per dwelling unit. At least one covered parking space per DU	No detached car garages. 2 car garage per DU	2 pkg spaces per dwelling unit. At least one covered parking space per DU
Landscaping				
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance			
Other				
		*Easements *Party Walls	*Easements *Party walls	
Architectural Controls				
	PUD Article 3.03	*Similar to single family controls *ARC (Architectural Review Board) *Landscape Committee *Trim and window treatment criteria	*Similar to single family controls *ARC (Architectural Review Board) *Swimming pools must be screened	*Similar to single family controls
NOTES/REMARKS				
		*Cluster Development *Site plan specific		*Cluster Development *Site plan specific

GROUP 2 - AREA C

PELICAN BAY

Avalon
Barrington Club
Breakwater
Coco Bay
Grand Bay
Isle Verde
L'Ambiance
The Crescent
The Pointe I
The Pointe II



	GROUP 2	Avalon	Barrington Club	Breakwater	Coco Bay	Grand Bay
TOTAL LOTS	2314	174 (reduced from 176)	Parcel A: 11 DU's Parcel B: 43 DU's	240	36	34
KEYMAP/PHOTO						
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Condominium Dwelling Units	Residential Dwelling Units	Multi-family residential development	Residential villas	Residential Villas (Single family residences)
Lot Regulations						
Minimum Lot Area	2,600 per dwelling unit					
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.					
Zero Lot Line Permitted	Yes				Yes	Yes
Minimum Yards (FT)						
From tract boundary lines, ROW or edge of gutter of private road	25	Per site plan	Per site plan	Per site plan	Per site plan	Per site plan
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft					
Between any 2 accessory uses (combined min. yard)	20 FT					
	Exception for architecturally themed clustered buildings					
Building Regulations						
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	1100	1200	1000	1800	2700
Maximum Building Height (Ft. Abv. Fin. Lot Grade)						
Principal Building	3 STORIES		2 Stories		2 stories	1 story Guest suites: 2 stories
Accessory Building	20 FT	25				
Parking						
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	2 pkg spaces per DU at surface parking. Garages allowed.	*2 parking spaces per DU to be provided in then neighborhood. Garages allowed. *Per condo dclrtn: one garage parking per unit	Number of parking required per Collier County	2 parking spaces per DU	2 parking spaces per DU
Landscaping						
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	*15ft landscape buffer along western & northern boundaries of neighborhood *20ft average frontage landscape buffer along southern and eastern boundaries of neighborhood	*25ft landscape buffer along western and southern boundaries of neighborhood *12.5ft buffer on the northern boundary	*20ft buffer along the western boundary along North Pointe Drive. *25ft buffer along southern boundary (adjacent to The Pointe at Pelican Bay neighborhood) *20ft buffer along the northern boundary (Vanderbilt Beach Road)	*10ft buffer along the southern boudnary of the neighborhood. *30ft wide frontage buffer along the western boundary of the neighborhood along Pelican Bay Blvd	*10ft buffer along the southern boudnary of the neighborhood from eastern end of lake *30ft wide frontage buffer along the western boundary of the neighborhood along Pelican Bay Blvd
Other						
		Condominium Property	*No structure within 100ft landscaped buffer *Condominium Property	Easements Condo property		Boat slips
Architectural Controls						
	PUD Article 3.03	*Similar to single family controls	*Similar to single family controls *Per condo dclrtn: Each unit is a 4 unit bldg to have a screen enclosed porch. And windows, doors, railings and screens to be provided in perimeter boundaries of the Unit.	*Fences and walls/gates discouraged *Similar to single family controls	*Similar to single family controls *Per condo dclrtn: 4 units designated Golf Course Units; specific plan types called out	*ARB (Architectural Review Board) *Similar to single family controls
NOTES/REMARKS						
		*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific

	GROUP 2	Isle Verde	L'Ambiance	The Crescent	The Pointe
TOTAL LOTS	2314	36	240	150	88
KEYMAP/PHOTO					
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Residential Villas (detached or attached single family)	*a quantity notes/spa facility (no more than 150 hotel units) *patio homes *multi-family dwelling units *for a combo of abv, not to exceed 240 DU's	Residential Condominium Dwelling Units	Multi-family residential units (including garden apartments)
Lot Regulations					
Minimum Lot Area	2,600 per dwelling unit				
Minimum Lot Width (FT)	*Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units *Single detached DU: 45 Ft.				
Zero Lot Line Permitted	Yes				
Minimum Yards (FT)					
From tract boundary lines, ROW or edge of gutter of private road	25	*Per site plan *20ft to edge of pavement *10ft between detached homes *25 ft from the rear lot line (exception for pools: may be located 10ft of rear lot line)	Per site plan	Per site plan	Per site plan
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft				
Between any 2 accessory uses (combined min. yard)	20 FT				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	One Story: 800 Two Story: 1,200	2500	750	1800	1200
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	3 STORIES	30FT	3 stories over parking	3 stories above (1) underground level of parking	
Accessory Building	20 FT				
Parking					
Parking: Off-Street Requirement	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	As required by Collier County Division 2.3	As required by Collier County Division 2.3	2 parking spaces per DU	As required by Collier County Division 2.3
Landscaping					
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance		*15' buffer along eastern and northern boundaries of the neighborhood *20' wide frontage buffer along Pelican Bay Blvd and Hammock Oak Drive	*20ft buffer along western boundary of neighborhood *30ft frontage buffer along northern boundary along Pelican Bay Blvd	*15ft buffer along eastern and northern boundaries of the neighborhood *20ft frontage buffer along Pelican Bay Blvd and North Pointe Drive
Other					
			Nb of Units: 1 pty unit to ea dwelling unit; and 1 pty unit for every 3 hotel units		Pointe I and Pointe II: no shared roadway
Architectural Controls					
	PUD Article 3.03	*Similar to single family controls *Roof pitch min 5:12 *ARB (Architectural Review Board)	*Similar to single family controls	*Similar to single family controls	*Similar to single family controls
NOTES/REMARKS					
		*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific

GROUP 3

PELICAN BAY

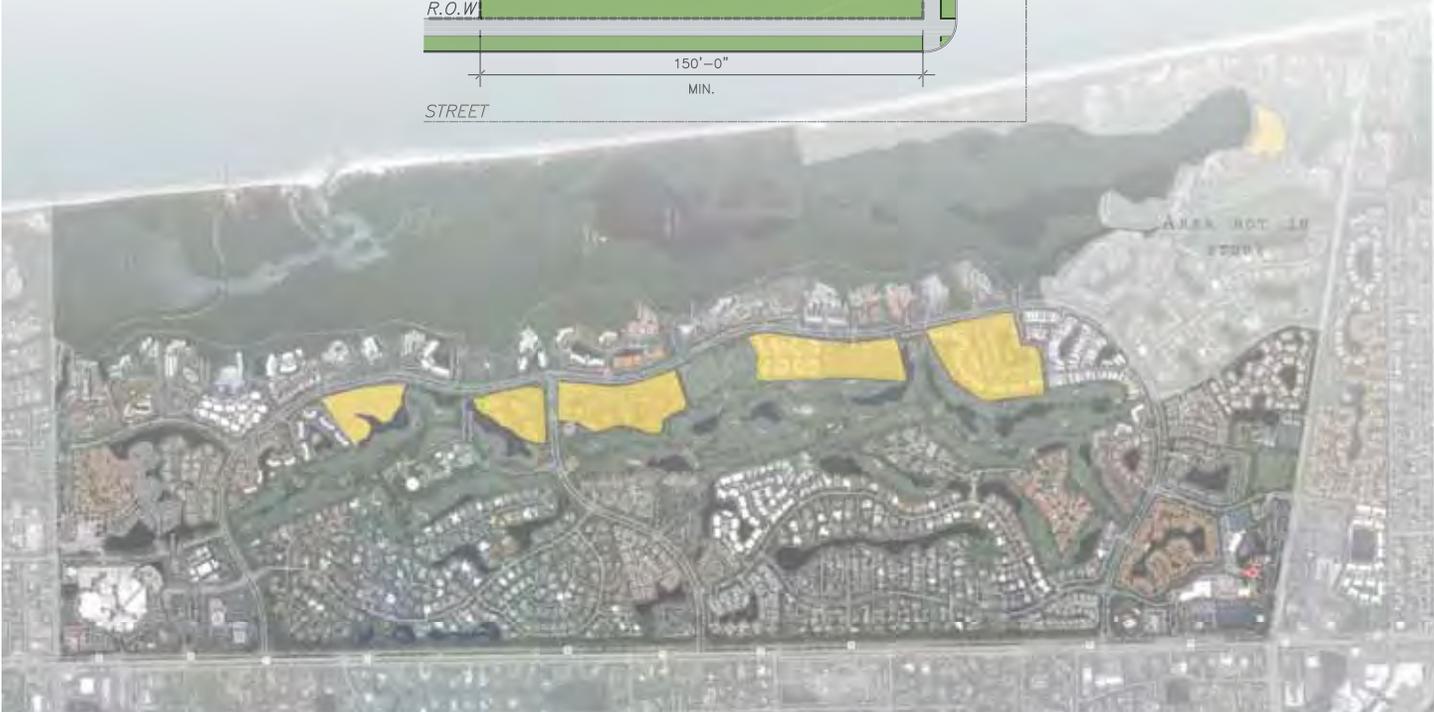
General		
Total Area (for Group 3) in Acres	116	
Total Number of Dwelling Units	1686	
Use		
Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family		
Lot Regulations		
Minimum Lot Area	1 ACRE	
Minimum Lot Width (FT)	150	
Zero Lot Line Permitted	NA	
Minimum Yards (FT)		
From tract boundary lines, ROW or edge of gutter of private road	35 ft or 1/2 the sum of the height of the structures, whichever is greater	Exception for architecturally themed clustered buildings
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft	
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft	
Building Regulations		
Minimum Building Floor Area (Sq. Ft.)	750 GSF of Living area per dwelling unit	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)		
Principal Building	4 stories w/ option of one floor of parking beneath the allowable 4 stories	
Accessory Building	20 FT	
Parking		
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	
Landscaping		
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	

GROUP 3

Bay Colony Mansion La Palma
Calais
Cannes
Carlton Place

Chateaumere
Hyde Park
Interlachen
Pebble Creek

San Marino
Valencia



GROUP 3

PELICAN BAY

Calais
Carlton Place
Chateaumere
Hyde Park
Interlachen
Pebble Creek
San Marino
Valencia



	GROUP 3	Calais	Carlton Place	Chateaumere	Hyde Park
TOTAL NUMBER OF DWELLING UNITS	1686		54	80 Group III and 60 Group IV	120 + 1 resident manager unit
KEYMAP / PHOTO					
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family		2 multi-story residential buildings, 14 attached single family DU's and 4 detached single-family Du's	Multi-family residential buildings	Multi-family residential buildings
Lot Regulations					
Minimum Lot Area	1 ACRE				
Minimum Lot Width (FT)	150				
Zero Lot Line Permitted	NA				
Minimum Yards (FT)					
From tract boundary lines, ROW or edge of gutter of private road	35 ft or 1/2 the sum of the height of the structures, whichever is greater	Exception for architecturally themed clustered buildings	Per Site Plan	For Group III DU's: per PUD For Group IV DU's: the greater of 50ft or 1/2 the sum of ht of the structures	50ft or 1/2 the sum of height of the structures, whichever is greater (100 ft setback from Pelican Bay Blvd)
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft			1/2 the sum of their heights but not less than 50 Ft	1/2 the sum of their heights but not less than 50 Ft
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft				
Building Regulations					
Minimum Building Floor Area (Sq. Ft.)	750 GSF of Living area per dwelling unit		1600	1500	1400
Maximum Building Height (Ft. Abv. Fin. Lot Grade)					
Principal Building	4 stories w/ option of one floor of parking beneath the allowable 4 stories		5 stories above one (1) floor of parking	Group III DU's: per PUD Group IV DU's: 200ft abv grade	60 FT
Accessory Building	20 FT			25ft	25 FT
Parking					
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance		*2 spaces per villa *1.5 spaces per mid-rise unit *at least 1 covered parking space per DU	1.5 Pkg space per DU and at least one parking space per DU to be enclosed w/in principal structures.	1.5 Pkg space per DU and at least one parking space per DU to be enclosed w/in principal structures.
Landscaping					
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance		*10ft buffer along Pelican Bay Blvd	*buffer strip along Pelican Bay Blvd.	Buffer strip along Pelican Bay Blvd and Gulf Park Drive
Other					
ARCHITECTURAL CONTROLS					
			*Similar to Single Family Controls	*Similar to Single Family Controls	
NOTES/REMARKS					
			*Cluster Development	*Cluster Development	

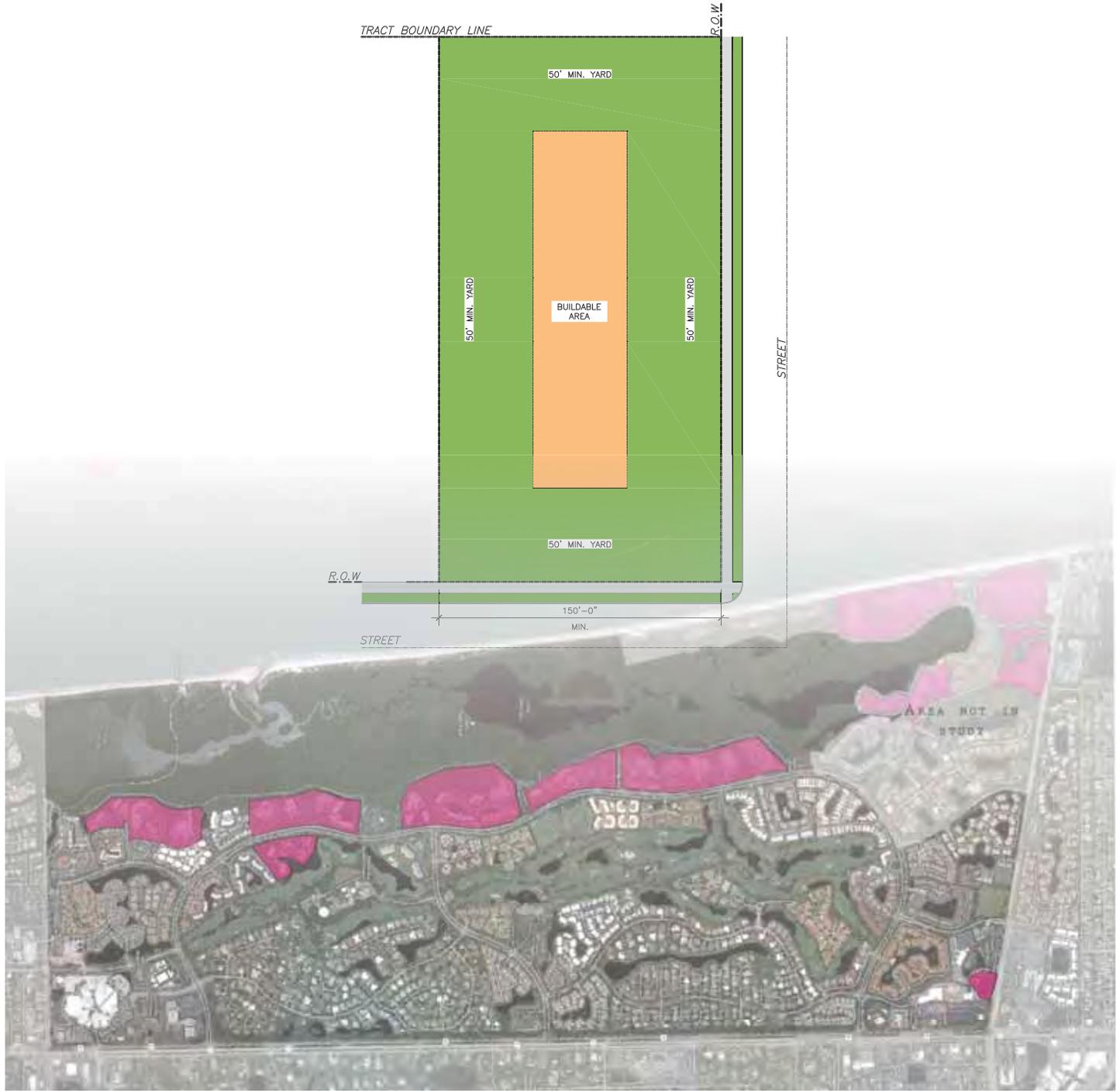
	GROUP 3	Interlachen	Pebble Creek	San Marino	Valencia	
TOTAL NUMBER OF DWELLING UNITS	1686	93	300	86 (see notes)	132	
KEYMAP / PHOTO						
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Multi-family residential buildings	Residential condominium Dwelling Units	Garden Apartments	Garden Apartments	
Lot Regulations						
Minimum Lot Area	1 ACRE					
Minimum Lot Width (FT)	150					
Zero Lot Line Permitted	NA					
Minimum Yards (FT)						
From tract boundary lines, ROW or edge of gutter of private road	35 ft or 1/2 the sum of the height of the structures, whichever is greater	Same as PUD and min setback from Pelican Bay Blvd not less than 50FT	Shall be in accordance with Group 3, Seciton 6.04 and/or Group 4, Section 7.04	Per Site Plan	30FT Minimum 50FT Min from Pelican Bay Blvd	
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft				1/2 the sum of their heights but not less than 40Ft	Same as PUD
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 20 Ft					
Building Regulations						
Minimum Building Floor Area (Sq. Ft.)	750 GSF of Living area per dwelling unit	1450	1200 (not included in covenants but shown on 1993 site plan info sheet)	1600	1300	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)						
Principal Building	4 stories w/ option of one floor of parking beneath the allowable 4 stories	4 stories abv grade		2 stories max	same as PUD	
Accessory Building	20 FT					
Parking						
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	1.5 Pkg space per DU and at least one parking space to be under cover	Per Collier County	2 Pkg space per DU and at least one covered parking space	1.5 Pkg space per DU and at least one covered parking space	
Landscaping						
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance		*10ft buffer along southern boundary of the neighborhood *30ft frontage buffer along Pelican Bay Blvd			
Other						
ARCHITECTURAL CONTROLS						
			*Similar to Single Family Controls	*Similar to Single Family Controls	*Similar to Single Family Controls	
NOTES/REMARKS						
		Site plan specific	*Cluster Development *Site plan specific	*Cluster Development *Site plan specific *Condo Declaration lists 88 units	*Cluster Development *Site plan specific	

GROUP 4

General		
Total Area (for Group 4) in Acres	343	
Total Dwelling Units (Maximum)	3200	
Use		
	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	
Lot Regulations		
Minimum Lot Area	1 ACRE	
Minimum Lot Width (FT)	150	
Zero Lot Line Permitted	NA	
Minimum Yards (FT)	NA	
Front yard		
Side Yard		
Rear Yard		
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft	
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft	
Building Regulations		
Minimum Building Floor Area (Sq. Ft.)	⇒750 GSF of Living area per dwelling unit ⇒300 SF min living area of any hotel or motel unit	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)		
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)	
Accessory Building	25 (exception for roof top recreation facilities)	
Parking		
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	
Landscaping		
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	

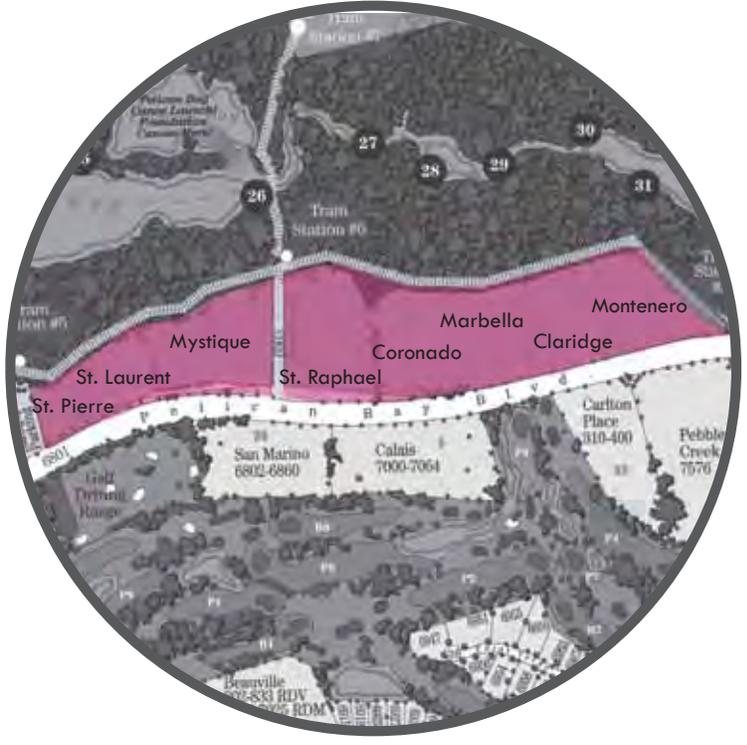
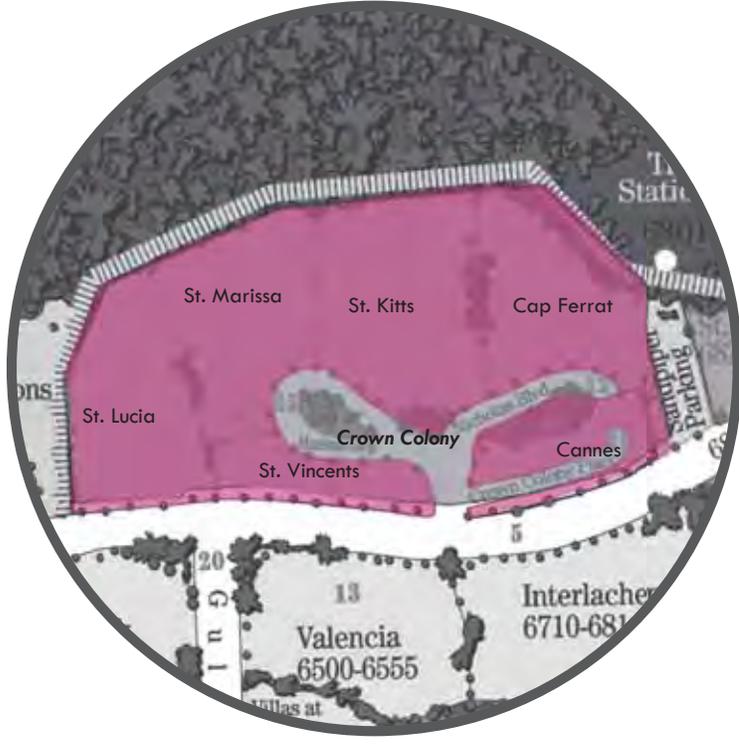
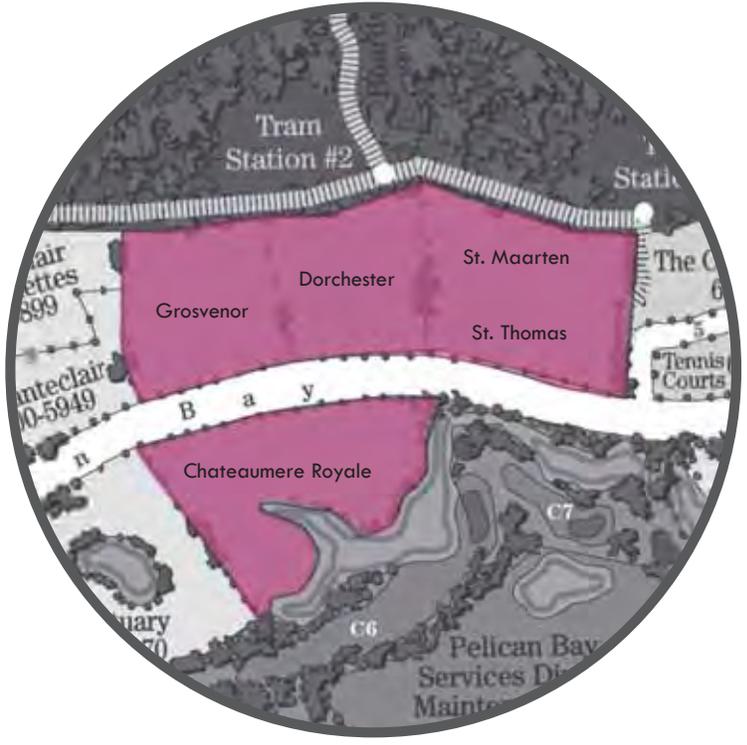
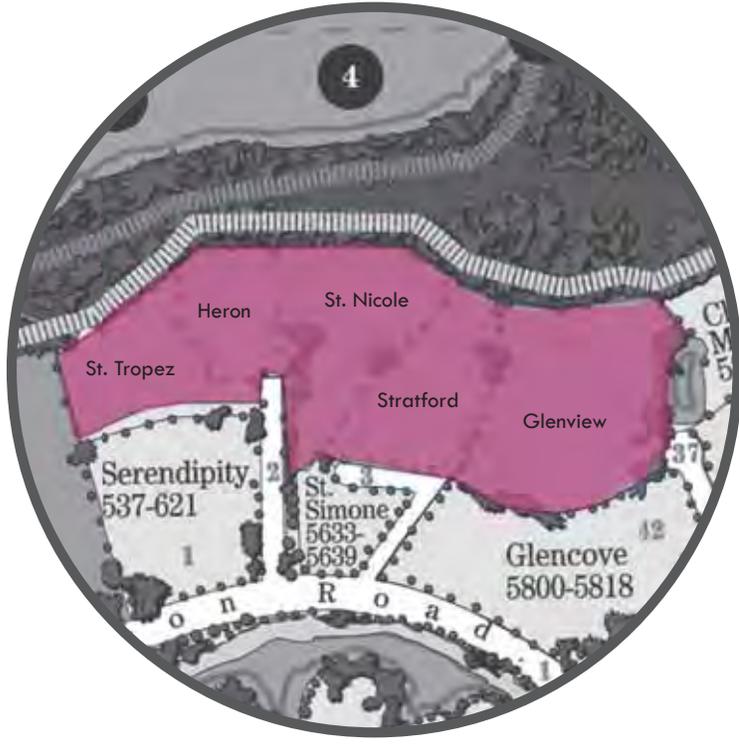
GROUP 4

Bay Colony Biltmore	Bay Colony Salerno	Coronado	Ritz-Carlton	St. Raphael
Bay Colony Brighton	Bay Colony Toscano	Dorchester	Mystique	St. Thomas
Bay Colony Carlisle	Bay Colony Trieste	Glenview	St. Kitts	St. Laurent
Bay Colony	Bay Colony Windsor	Grosvenor	St. Lucia	St. Tropez
Contessa	Cannes (front of Cap Ferrat)	Heron	St. Maarten	St. Vincents
Bay Colony Marquessa	Cap Ferrat	Inn at P.B.	Watermakr Place IV	Stratford
Bay Colony Remington	Chateaumere	Marbella	St. Marissa	
	RoyaleClaridge	Montenero	St. Nicole	
		Naples Grande	St. Pierre	



GROUP 4

PELICAN BAY



	GROUP 4	St. Tropez	Heron	St. Nicole	Stratford	Glenview	Grosvenor
TOTAL DWELLING UNITS (MAX)	3200	52 Dwelling Units	41 Dwelling Units	70 Dwelling Units (see notes)	118 Dwelling Units (See notes below)	140 DU's	102 DU's (See notes)
KEYMAP/PHOTO							
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Multi-family residential. (1 16-story building.)	Multi-family residential building.	High-rise multi-family residential building	Multi-family residential buildings	Congregate Care Facility	Multi-family residential buildings
Lot Regulations							
Minimum Lot Area	1 ACRE						
Minimum Lot Width (FT)	150						
Zero Lot Line Permitted	NA						
Minimum Yards (FT)							
Front yard	NA						
Side Yard							
Rear Yard							
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings					
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft						
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft						
Building Regulations							
Minimum Building Floor Area (Sq. Ft.)	⇒ 750 GSF of Living area per dwelling unit ⇒ 300 SF min living area of any hotel or motel unit	1,000 SF per DU	1,500 SF per DU	1,000 SF per DU	1,500 SF per DU	750 SF per DU (reduced from 850SF/DU per Amendment, 1989)	1,500 SF per DU
Maximum Building Height (Ft. Abv. Fin. Lot Grade)							
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)					150 FT (increased from 100FT per Amendment, 1989)	
Accessory Building	25 (exception for roof top recreation facilities)						
Parking							
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg spaces per DU. At least one covered parking space per DU within principal structures	1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg spaces per DU. (covered 1 parking space per DU was removed per Amend 1989)	1.5 Pkg spaces per DU. At least one covered parking space per DU within principal structures
Landscaping							
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance				Buffer strip along the length of Crayton Road.		
Other			40 Units built	Pedestrian access to the PBID berm	Access to adjacent neighborhoods in writing by Declarant	*Access to boardwalk *Not more than 35 sheltered nursing home beds	
ARCHITECTURAL CONTROLS		*Similar to single family homes controls *4 unit types: A, B and 2 PH types	*Similar to single family homes controls	*6 unit types: Typical Units A, B and C and Penthouse Units A, B, C *Interior finishes controls	*Interior finishes controls	*Similar to single family controls	Additional controls such as storm shutters, interior finishes incorporated in later declarations
NOTES/REMARKS				*1991 Declaration calls out 21 levels containing 97 units (and recorded same in 2002 Declaration). This differs from 1988 declaration's 70 max DU's	*118 DU's (+1 DU allowed w/ written approval from Declarant) -- 1980 Decl. *1982 Decl: Phased development: totaling 200 DU's: -Phase I: 82 units; 22 stories abv pkg lvl -Phase II: 22 story abv pkg lvl; 82 units; essentially identical to Phase I -Phase III: 11 story abv pak lvl; 36 units. Similar exteriors to Phase I		*Changed nb of units by Amendment from 96 DU's *1982 Condo Declr: shows 101 units article 5.1

	GROUP 4	Dorchester	St. Maarten	St. Thomas	Chateaumere Royale	Crown Colony	Cannes
TOTAL DWELLING UNITS (MAX)	3200	86 DU's	90 DU's (See notes)	32 DU's (See notes)	60 DU's (for Grp 4 & 80 DU's Group 3)	353 DU's (See notes below)	24 DU's (Crown Colony)
KEYMAP/PHOTO						Village Association containing: Cannes Cap Ferrat St. Kitts St. Marissa St. Vincents <i>(See also individual Neighborhood Associations)</i>	
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Multi-family residential buildings	High-rise multi-family residential building + a group of two-story garden apartment bldgs (see St. Thomas)	High-rise multi-family residential building (See St. Maarten) + a group of two-story garden apartment bldgs	Multi-family residential buildings	3 Multi-story residential buildings and 5 two-story garden apartment bldgs.	2-story garden apartment bldgs
Lot Regulations							
Minimum Lot Area	1 ACRE						
Minimum Lot Width (FT)	150						
Zero Lot Line Permitted	NA						
Minimum Yards (FT)							
Front yard	NA	Per Site plan (in addition to typ. PUD regs)					
Side Yard							
Rear Yard							
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings					
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft						
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft						
Building Regulations							
Minimum Building Floor Area (Sq. Ft.)	⇒ 750 GSF of Living area per dwelling unit ⇒ 300 SF min living area of any hotel or motel unit	1,500 SF per DU	1,000 SF per DU	1,000 SF per DU	1,500 SF per DU	1,250 SF per DU	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)							
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)		200 FT for high rise	35 FT for garden apartments		200 FT for high rise 35 FT for garden apartments	
Accessory Building	25 (exception for roof top recreation facilities)						
Parking							
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	1.5 Pkg spaces per DU. At least one covered parking space per DU within principal structures	1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg space per DU and at least one parking space per DU to be enclosed w/in principal structures.	1.5 Pkg spaces per DU. At least one covered parking space per DU	
Landscaping							
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	*Hardwood hammock to be preserved			*buffer strip along Pelican Bay Blvd.		
Other							
			Pedestrian access to the PBID berm one on the west and one on east side of the neighborhood	Pedestrian access to the PBID berm one on the west and one on east side of the neighborhood		Pedestrian access to the PBID berm.	
ARCHITECTURAL CONTROLS							
		Interior finishes/floor coverings	Typical controls for interiors, balconies, storm shutters, windows	Typical controls for interiors, storm shutters, windows	*Similar to Single Family Controls		
NOTES/REMARKS							
			*Total 122 Units for parcel which includes Condo Associations St. Maarten and St. Thomas -90 high rise DU's --> St. Maarten -32 2-story garden apt DU's --> See St. Thomas	*Total 122 Units for parcel which includes Condo Associations St. Maarten and St. Thomas -90 high rise DU's: see St. Maarten -32 2-story garden apt DU's: St. Thomas *St. Thomas: 3 buildings with 3 floors each	*Cluster Development *See also Group 3 Chateaumere	*Dwelling Units: -62 DU's in 2-story garden apts -291 DU's in multi-story bldgs *Cluster Development	*See Crown Colony *Phased development (5 phases containing 4 buildings as follows: Phases 1 thru 4: bldg per phase; ea. containing 4 units - 2 units per floor; Phase 5: does not contain DU's (contains swimming pool and pool deck)

	GROUP 4	Cap Ferrat	St. Kitts	St. Marissa	St. Vincents	St. Lucia	Waterpark Place
TOTAL DWELLING UNITS (MAX)	3200	111 DU's (<i>Crown Colony</i>)	97 DU's (<i>Crown Colony</i>)	97 DU's (<i>Crown Colony</i>)	24 DU's (<i>Crown Colony</i>)	86 DU's (see notes below)	378 DU's
KEYMAP/PHOTO							<p>containing: St. Pierre St. Laurent Mystique I & II <i>(See also individual Neighborhood Associations)</i></p>
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	One high-rise bldg with 20 levels	One high-rise bldg with 21 levels	One high-rise bldg with 21 levels	Two 2-story garden apartment bldgs (6 units per floor)	A high-rise multi-family residential building and a group of two-story garden apartment bldgs.	4 multi-story residential buildings
Lot Regulations							
Minimum Lot Area	1 ACRE						
Minimum Lot Width (FT)	150						
Zero Lot Line Permitted	NA						
Minimum Yards (FT)	NA						
Front yard							
Side Yard							
Rear Yard							
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings					
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft						
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft						
Building Regulations							
Minimum Building Floor Area (Sq. Ft.)	⇒ 750 GSF of Living area per dwelling unit ⇒ 300 SF min living area of any hotel or motel unit					1,250 SF per DU	1,250 SF per DU
Maximum Building Height (Ft. Abv. Fin. Lot Grade)							
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)					200 FT for high rise 35 FT for garden apartments	
Accessory Building	25 (exception for roof top recreation facilities)						
Parking							
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance					1.5 Pkg spaces per DU. At least one covered parking space per DU	1.5 Pkg spaces per DU. At least one covered parking space per DU
Landscaping							
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance						
Other							
		Crown Colony pedestrian easement				Pedestrian access to the PBID berm.	Pedestrian access to the PBID berm.
ARCHITECTURAL CONTROLS							
NOTES/REMARKS							
		See Crown Colony	See Crown Colony	See Crown Colony	See Crown Colony	*16 two-story garden apartment DU's (2 buildings ea. containing total 8 units) *70 high-rise multi-family DU's	

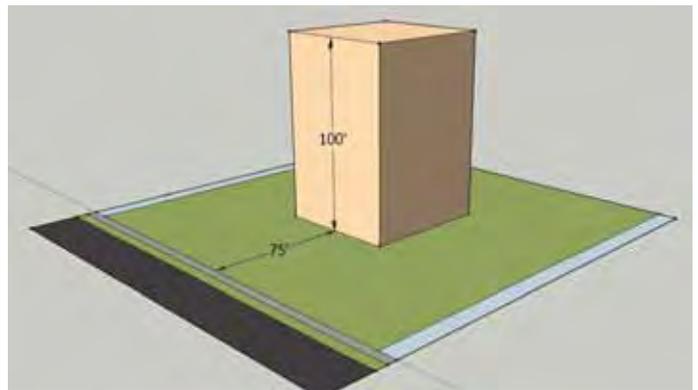
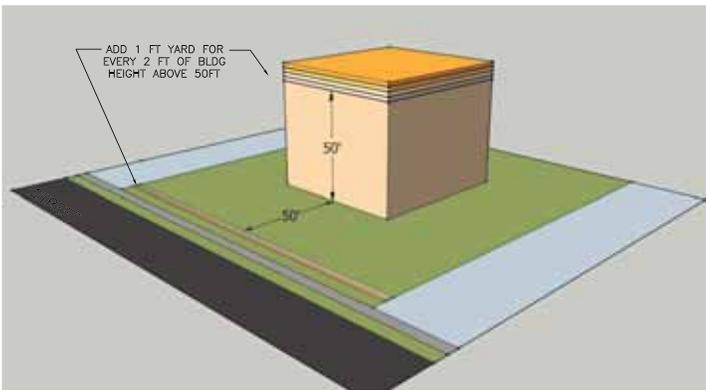
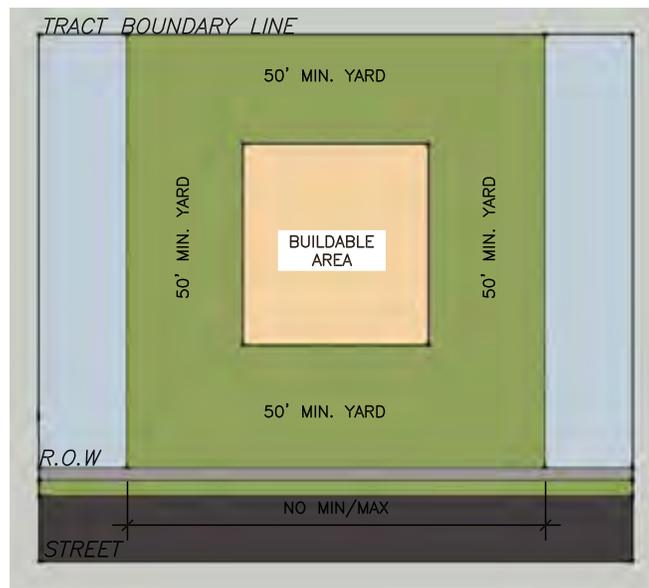
	GROUP 4	St. Pierre	St. Laurent	Mystique	St. Raphael	Coronado	Marbella
TOTAL DWELLING UNITS (MAX)	3200	105 DU's (Waterpark Place)	107 DU's (Waterpark Place)	NEW - see notes (Waterpark Place)	210 DU's	99 DU's	124 DU's
KEYMAP/PHOTO							
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	One high-rise with 21 living levels (5 units per floor)	One building with 22 levels with five units per floor, except grnd lvl which has 2		Residential multi-family high rise		
Lot Regulations							
Minimum Lot Area	1 ACRE						
Minimum Lot Width (FT)	150						
Zero Lot Line Permitted	NA						
Minimum Yards (FT)							
Front yard	NA						
Side Yard							
Rear Yard							
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings					
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft						
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft						
Building Regulations							
Minimum Building Floor Area (Sq. Ft.)	⇒750 GSF of Living area per dwelling unit ⇒300 SF min living area of any hotel or motel unit				800 SF/DU		
Maximum Building Height (Ft. Abv. Fin. Lot Grade)							
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)						
Accessory Building	25 (exception for roof top recreation facilities)						
Parking							
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance				Per Collier County Land Development Code		
Landscaping							
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance				*15ft wide buffer along the southern and northern boundaries of the neighborhood. *20ft wide frontage buffer along Pelican Bay Blvd. and North Pointe Dr.		
Other					Pedestrian access to the PBID berm.		
ARCHITECTURAL CONTROLS							
NOTES/REMARKS		See Waterpark Place	See Waterpark Place	*See Waterpark Place *Development in progress; (documents not available for review) *Assumption: DU's available for Mystique I and II = 166 DU's	Per Condo Declr: *178 Residential Units in one high-rise with 19 stories *14 Villa Units in 2 buildings of 7 units per building	*Obtain original decleration for Parcel C-2 if available *Verify if this may have been part of Waterpark?	*118 DU's *16 bed congregate facility (assigned 6 property units) for convalescent home *Obtain original decleration for Parcel C-1 if available *Verify if this may have been part of Waterpark?

	GROUP 4	Claridge	Montenero
TOTAL DWELLING UNITS (MAX)	3200	82 DU's	133 DU's
KEYMAP/PHOTO			
Use	Single Family Detached; Attached Single Family up to 6 units per structure; and Multi-Family	Multi-story residential building	
Lot Regulations			
Minimum Lot Area	1 ACRE		
Minimum Lot Width (FT)	150		
Zero Lot Line Permitted	NA		
Minimum Yards (FT)			
Front yard	NA		
Side Yard			
Rear Yard			
From tract boundary lines, ROW or edge of gutter of private road	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	Exception for architecturally themed clustered buildings	
Between any 2 principal structures (combined min. yard)	1/2 the sum of their heights but not less than 50 Ft		
Between any 2 accessory uses (combined min. yard)	1/2 the sum of their heights but not less than 30 Ft		
Building Regulations			
Minimum Building Floor Area (Sq. Ft.)	⇒ 750 GSF of Living area per dwelling unit ⇒ 300 SF min living area of any hotel or motel unit	1,500 SF per DU	
Maximum Building Height (Ft. Abv. Fin. Lot Grade)			
Principal Building	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)		
Accessory Building	25 (exception for roof top recreation facilities)		
Parking			
Parking: Off-Street Requirement	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	1.5 Pkg spaces per DU. At least one covered parking space per DU	
Landscaping			
Off-Street Parking Landscaping Requirement	Per Collier County Zoning Ordinance	*Hardwood hammock to be preserved	
Other		Pedestrian access to the PBID berm.	
ARCHITECTURAL CONTROLS			
NOTES/REMARKS			*Obtain original decleration for Parcel E if available *Verify if this may have been part of Waterpark?

COMMUNITY AND AREA COMMERCIAL

General	
Total Area per Group/District (Acres)	
Area (South) Commercial District	48.7
Community (North) Commercial District	50.2
Maximum Square Footage	
Total of 1,095,000 SF @ 510,000 SF Retail & 585,000 SF Office	
Area (South) Commercial District	Total of 761,400 SF (370,000 SF: Retail 391,400 SF: Office)
Community (North) Commercial District	Total of 333,600 SF (140,000 SF: Retail 193,600 SF: Office)
Use	
Commerical and professional use (PUD lists 104 uses)	
Lot Regulations	
Minimum Lot Area	None
Minimum Lot Width (FT)	None
Minimum Yards (FT)	Minimum 50 ft + 1 ft for each 2 ft of building ht above 50 ft
Building Separation	50ft or 1/2 the sum of their heights, whichever is greater (with exception for architectural themed clustered bldgs.)
Building Regulations	
Minimum Building Floor Area (Sq. Ft.)	1000 sf (on ground floor); (w/ exception for specialty structures) 300 SF min living area of any hotel or motel unit; no maximum sq. ft.
Maximum Building Height (Ft. Abv. Fin. Lot Grade)	100 ft.
Parking	
Parking: On and Off-Street Requirement	Per Collier County Zoning Ordinance
Landscaping	
Landscaping	Per Collier County Zoning Ordinance

COMMUNITY AND AREA COMMERCIAL



PELICAN BAY ILLUSTRATIVE HEIGHT RESTRICTION MAP



PELICAN BAY ILLUSTRATIVE HOTEL RESTRICTION MAP





PELICAN BAY

Residential Group Development Standards per PUD

Use	General		Pelican Bay Named Development	Keymap	Minimum Lot Area	Minimum Lot Width (FT)	Zero Lot Line Permitted	Lot Regulations					Building Regulations		Parking	Landscaping	Illustrated Site Regulations Diagrams		
	Total Area per Group (Acres)	Maximum number of dwelling units per Group						Front yard	Side Yard	Rear Yard	From tract boundary lines, ROW or edge of gutter of private road	Between any 2 principal structures (combined min. yard)	Between any 2 accessory uses (combined min. yard)	Minimum Building Floor Area (Sq. Ft.)				Max. Building Height (Ft. Abv. Fin. Lot grade)	
Group 1	278	600	Barrington Bay Colony Shores Bay Colony Strand Bay Colony Villa La Palma Cambridge Georgetown Jamesstown Oakmont Pelican Bay Woods Pinecrest Pointe Verde The Village Waterford	[Keymap]	10,000 SF	Corner Lot: 95 Ft Interior Lot: 80 Ft. (measured at front setback)	No	30	7 1/2 (one story) 10 ft (two stories)	25 ft or 15 ft + screen enclosure	From tract boundary lines, ROW or edge of gutter of private road	Between any 2 principal structures (combined min. yard)	Between any 2 accessory uses (combined min. yard)	One Story: 1,000	30	20	1 Parking per dwelling unit (located w/in setback). For other uses, parking shall be per Collier County Ordinance	Off-Street Parking Landscaping Requirement	[Illustrated Site Regulations Diagrams]
								Exception for architecturally themed clustered buildings						Principal Building	Accessory Building				
Group 2	390	2314	Avalon Barrington Club Bay Colony Viscayna Bay Villas Beauville Breakwater Bridgeway Villas Chanteclair Coco Bay Crescent Glencove Grand Bay Isle Verde L'Ambiance Las Brisas Laurel Oaks Oak Lake Sanctuary Pointe of Pelican Bay Renaissance Saint Andrews Sanctuary Sand Pointe Serendipity St. Simone Tierra Mar Villa Lantana Villas of Pelican Bay Willow Brook	[Keymap]	2,600 per dwelling unit	Attached DU: 20 Ft per ea. dwelling unit related to a structure containing min 2 and max 6 units Single detached DU: 45 Ft.	Yes	25	1/2 the sum of their heights but not less than 20 Ft	20 Ft	From tract boundary lines, ROW or edge of gutter of private road	Between any 2 principal structures (combined min. yard)	Between any 2 accessory uses (combined min. yard)	One Story: 800	3 stories	20	2 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	Per Collier County Zoning Ordinance	[Illustrated Site Regulations Diagrams]
														Exception for architecturally themed clustered buildings					
Group 3	116	1686	Bay Colony Mansion La Palma Calais Carlton Place Chateauxmere Hyde Park Interlachen Pebble Creek San Marino Valencia	[Keymap]	1 acre	150	No	35 ft or 1/2 the height of the structures, whichever is greater	1/2 the sum of their heights but not less than 30 Ft	1/2 the sum of their heights but not less than 20 Ft	From tract boundary lines, ROW or edge of gutter of private road	Between any 2 principal structures (combined min. yard)	Between any 2 accessory uses (combined min. yard)	750 GSF of Living area per dwelling unit	4 stories w/ option of one floor of parking beneath the allowable 4 stories	20	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	Per Collier County Zoning Ordinance	[Illustrated Site Regulations Diagrams]
														Exception for architecturally themed clustered buildings					
Group 4	343	3200	Bay Colony Windsor St Nevis (front of Cap Ferrat) St. Kitts St. Lucia St. Maarten St. Margaux (PT Cap Antibes) St. Marissa St. Nicole St. Pierre St. Raphael St. Thomas St. Tropez St. Vincents Stratford Bay Colony Biltmore Bay Colony Brighton Bay Colony Carlisle Bay Colony Contessa Bay Colony Marquessa Bay Colony Glenview Bay Colony Remington Bay Colony Salerno Bay Colony Toscana Bay Colony Trieste	[Keymap]	1 acre	150	No	50 ft or 1/2 the height of the structures, whichever is greater except that detached accessory structures to be setback 20 ft or 1/2 of the height, whichever is greater	1/2 the sum of their heights but not less than 50 Ft	1/2 the sum of their heights but not less than 30 Ft	From tract boundary lines, ROW or edge of gutter of private road	Between any 2 principal structures (combined min. yard)	Between any 2 accessory uses (combined min. yard)	750 GSF of Living area per dwelling unit	200 ft. (w/ exception - see Exhibit M: max ht of 5 stories above 1 floor of pkg)	25 (exception for roof top recreation facilities)	1.5 Parking spaces per dwelling unit (exception for less parking with Director's approval) For other uses, parking shall be per Collier County Ordinance	Per Collier County Zoning Ordinance	[Illustrated Site Regulations Diagrams]
														Exception for architecturally themed clustered buildings					
Total	1127	7800																	

EXISTING COMMUNITY LAND REGULATIONS MATRIX



RESIDENTIAL DEVELOPMENT STANDARDS



PELICAN BAY

Development Standards per PUD (for non-residential groups/districts)

Use (District)	Total Area per Group/District (Acres)	General		Lot Regulations				Building Regulations		Parking		Landscaping	Illustrated Site Regulations Diagram
		Community Use Map Keymap	Maximum Square Footage	Minimum Lot Area	Minimum Lot Width (FT)	Minimum Yards (FT)	Building Separation	Min Building Floor Area (Sq. Ft.)	Max. Building Height (Ft. Abv. Fin. Lot grade)	Parking: On-Street Requirement	Parking: Off-Street Requirement	Landscaping	
Golf Course	171					Buildings setback 50 ft min from abutting residential districts		None indicated other than 5000 SF Minimum Golf Clubhouse (PUD 82.12)	35 ft w/in 150 ft of any district restricted to 30 ft Ht or less 45 ft elsewhere		Per Collier County Zoning Ordinance	⇒Setback areas to be landscaped to act as a buffer zone ⇒Landscaping in off-street parking per Collier County Zoning Ordinance	
Community & Commercial	Area (South) Commercial District	48.7		Total of 1,095,000 SF (510,000 SF: Retail 585,000 SF: Office)	None	None	Minimum 50 ft + 1 ft for each 2 ft of building ht above 50 ft	50ft or 1/2 the sum of their heights, whichever is greater (with exception for architectural themed clustered bldgs.)	⇒ 1000 sf (on ground floor); (w/ exception for specialty structures) ⇒ 300 SF min living area of any hotel or motel unit; no maximum sq. ft.	100 ft.	Per Collier County Zoning Ordinance	Per Collier County Zoning Ordinance	
	Community (North) Commercial District	50.2											
Conservation Area	571 acres Total (to Collier County: 36 acres [south of Clam Pass + West of Outer Clam Bay]) by Pelican Bay Improvement District: 535 acres (129 acres of beachfront + 277 acres of water area + 129 acres of wetlands)												
Utility Area	19					None		None					

EXISTING COMMUNITY LAND REGULATIONS MATRIX

NON-RESIDENTIAL DEVELOPMENT STANDARDS

